

PROPOSED MIXED USE DEVELOPMENT

CLIENT:
LOCKBRIDGE

PROJECT STAGE
DEVELOPMENT APPLICATION



**ACT
CONSULTING
ENGINEERS**

CIVIL • STRUCTURAL • HYDRAULIC

**PROJECT NUMBER
23-0874**

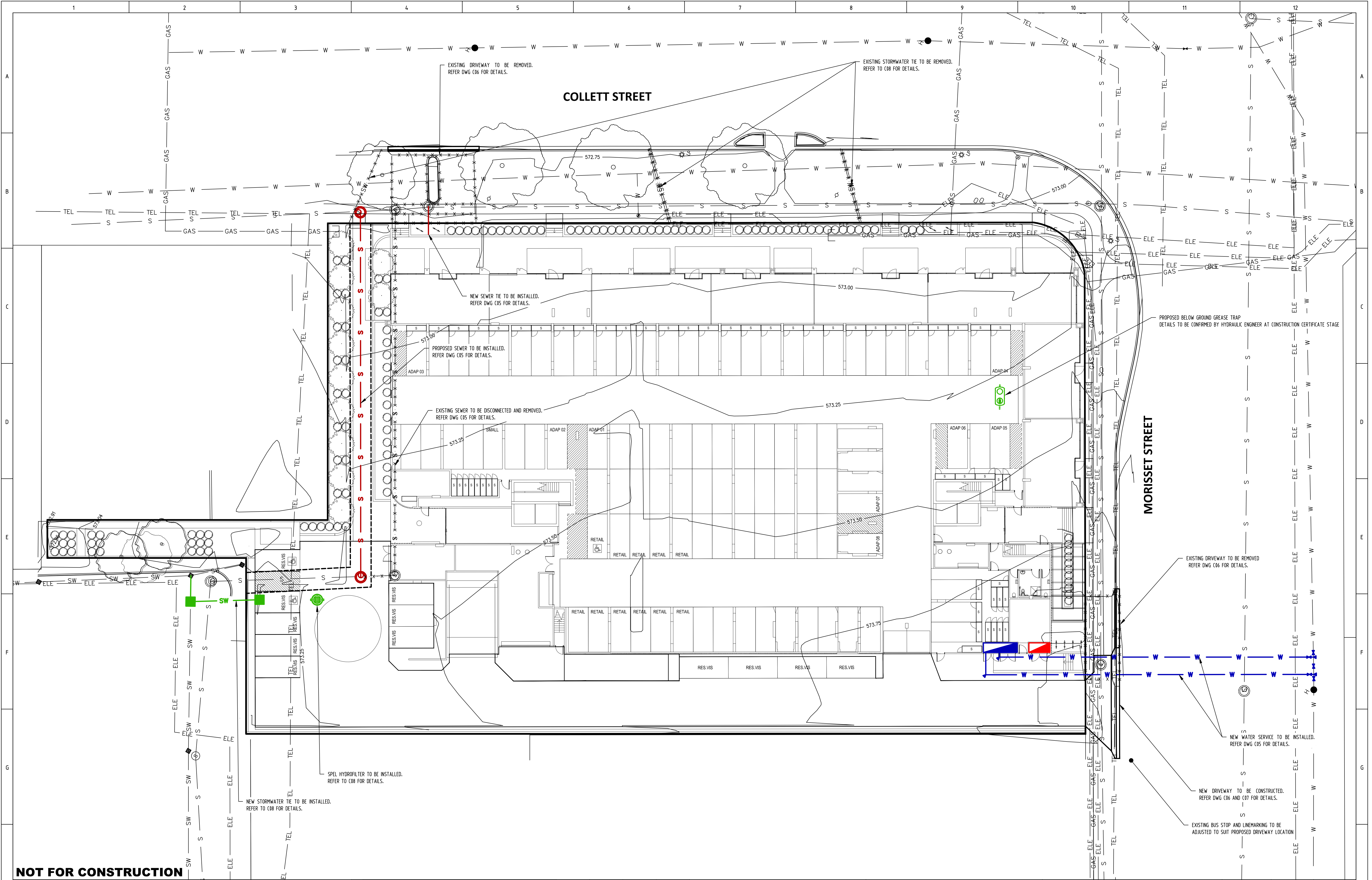
PROJECT LOCALITY



DRAWING INDEX

DRAWING NUMBER	DRAWING TITLE
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C02	GENERAL CONSTRUCTION NOTES AND DETAILS
C03	LANDSCAPE MANAGEMENT & PROTECTION PLAN
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C09-01	VEHICLE TURNING PLAN
C10	WASTE COLLECTION PLAN 10.4m TRUCK
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C11	WASTE ENCLOSURE DETAILS

**50 MORRISET ST
QUEANBEYAN**



ACT CONSULTING ENGINEERS

CIVIL • STRUCTURAL • HYDRAULIC

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1:200 @A1

1:400 @A3

NORTH

REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED	CLIENT:
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K	LOCKBRIDGE
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K	
C						
D						
E						

PROJECT: MIXED-USE DEVELOPMENT

SITE ADDRESS: 50 MORRISSET ST MORRISSET STREET QUEANBEYAN

SCALE: AS SHOWN

DATE: 27.11.2024

DWG No.: C01

DRAWING TITLE: GENERAL ARRANGEMENTS PLAN

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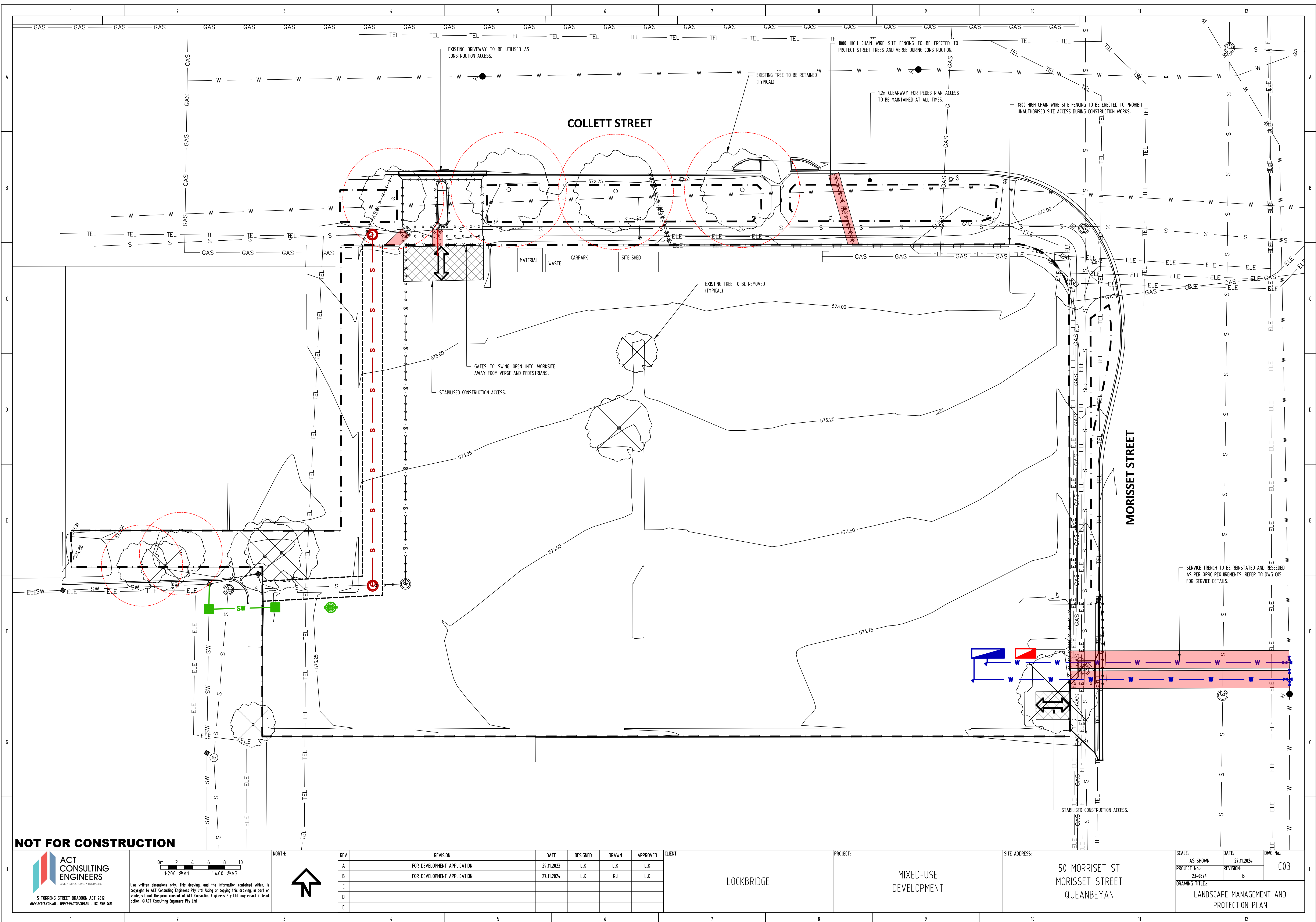
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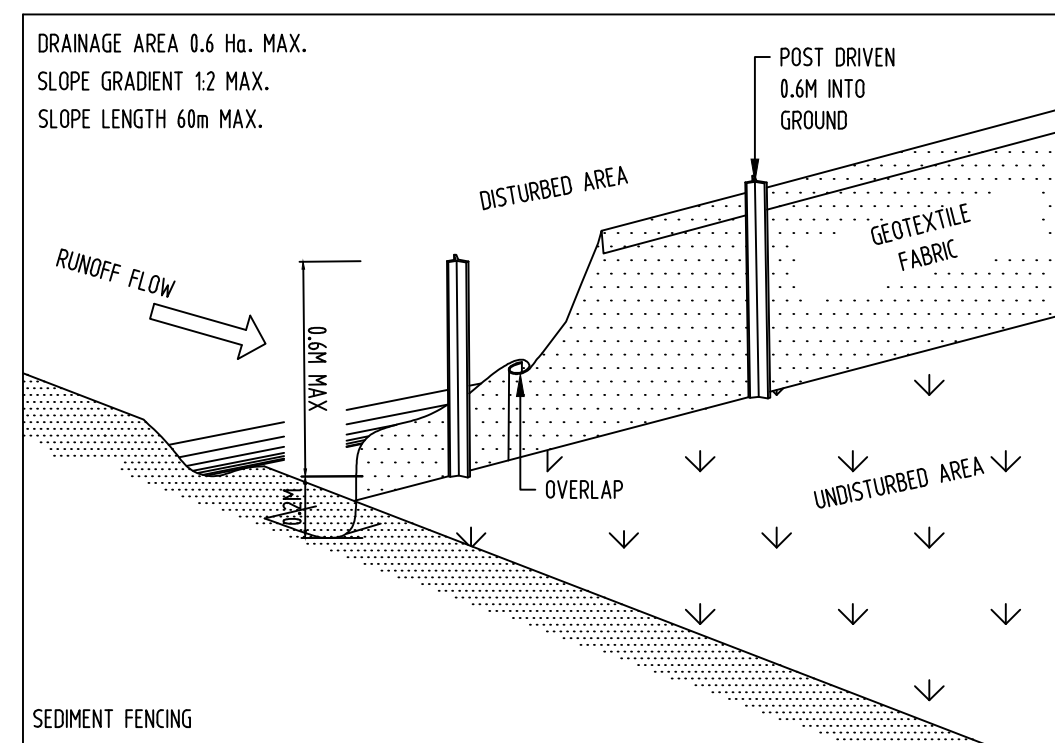
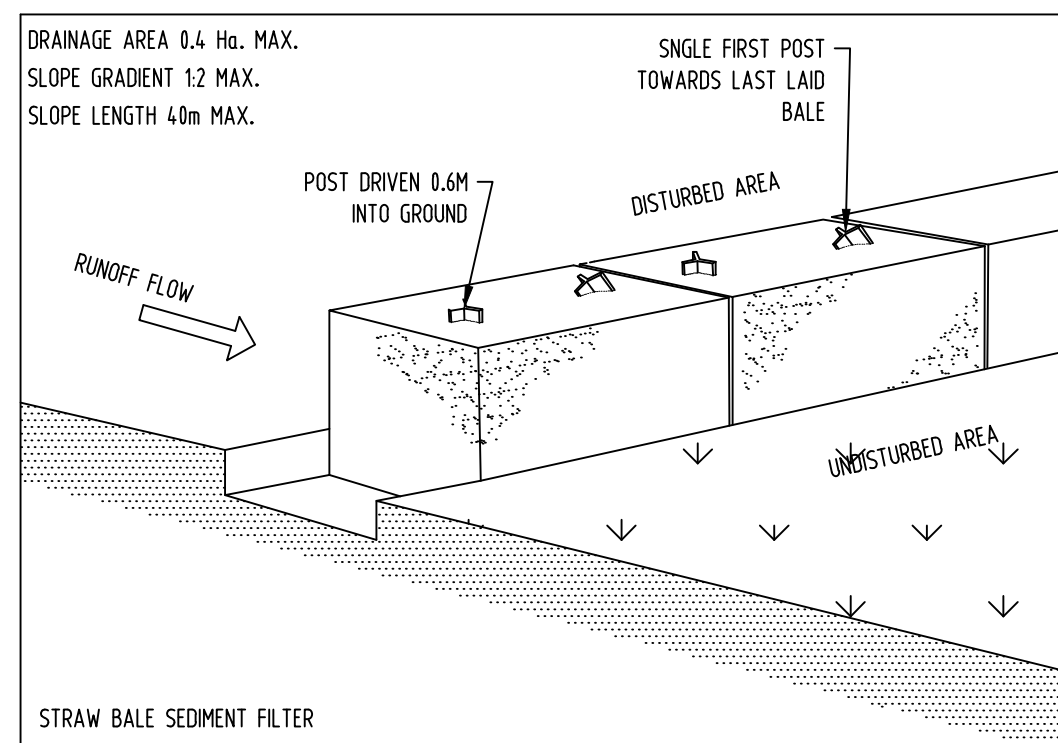
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Date Plotted: 27/11/2024

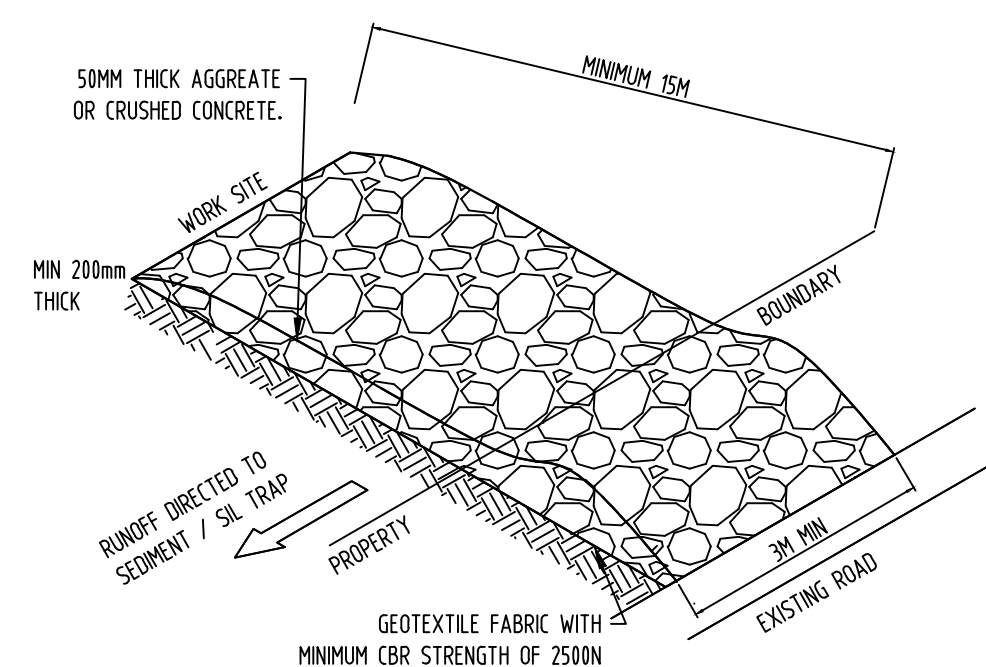
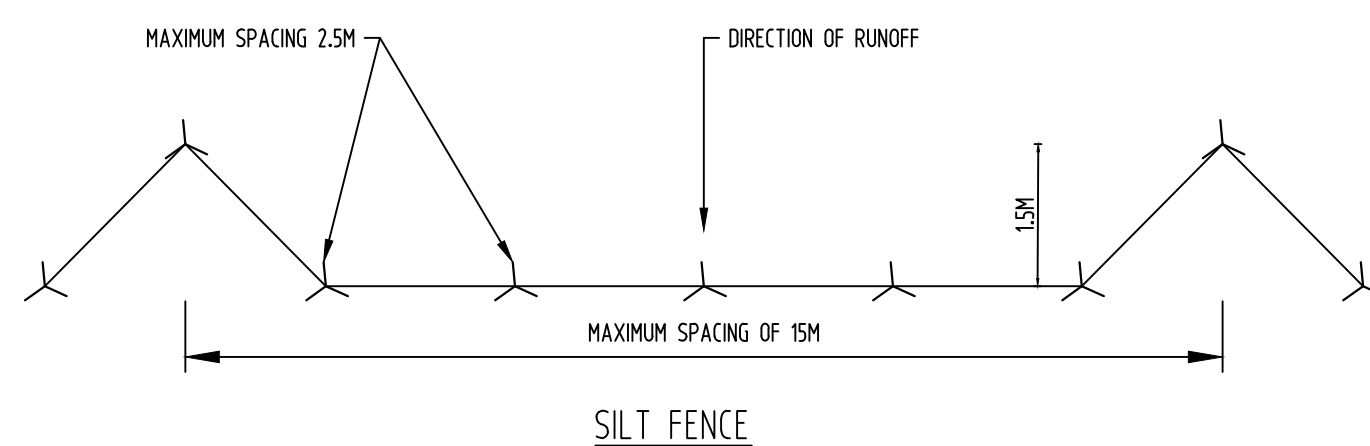
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	LANDSCAPE MANAGEMENT AND PROTECTION NOTES																																																																																															
A	1. GENERAL 1.1. THESE NOTES MUST BE READ IN CONJUNCTION WITH THE ANY LOCAL COUNCIL/AUTHORITY REQUIREMENTS 1.2. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO ENSURE THAT ALL ASSETS EXTERNAL OF THE SITE ARE PROTECTED FROM DAMAGE. 1.3. NO WORKS OTHER THAN THOSE IDENTIFIED ON THE APPROVED LMPP ARE TO TAKE PLACE WITHIN THE TREE PROTECTION ZONE (TPZ) OF AN EXISTING TREE. NO CONSTRUCTION ACTIVITIES SUCH AS STORAGE, PARKING, STOCKPILING, SITE SHEDS, CONSTRUCTION ACCESS, WASHDOWN, EXCAVATION ETC. ARE ACCEPTED WITHOUT APPROVAL. 1.4. PRIOR TO CONSTRUCTION ALL PROTECTION MEASURES INDICATED ON THE APPROVED LMPP MUST BE IMPLEMENTED ONSITE. THE PROJECT TEAM MUST NOTIFY LOCAL COUNCIL/AUTHORITY IN WRITING, ONCE THE PROTECTION MEASURES HAVE BEEN INSTALLED, AND ORGANISE AN INSPECTION. 2. SITE ACCESS –REFER VEHICLE ACCESS WITHIN TPZ ALSO. THIS SECTION OF NOTES IS APPLICABLE FOR ALL DEVELOPMENTS 2.1. SITE ACCESS MUST BE STRICTLY THROUGH THE ACCESS POINTS IDENTIFIED ON THIS PLAN. ACCESS THROUGH UNLEASED LAND THAT IS NOT IDENTIFIED ON THE APPROVED LMPP IS STRICTLY PROHIBITED. 3. STORAGE OF MATERIALS THIS SECTION OF NOTES IS APPLICABLE FOR ALL DEVELOPMENTS 3.1. THE STORAGE OF CONSTRUCTION MATERIALS AND THE PARKING OF VEHICLES OR EQUIPMENT ON VERGES OR ADJACENT PUBLIC OPEN SPACES ARE NOT PERMITTED WITHOUT PRIOR APPROVAL FROM QPRC. 3.1.1. ONLY STORAGE AND PARKING LOCATIONS ON UNLEASED LAND IDENTIFIED ON THIS LMPP ARE APPROVED. 4. SITE ACCOMMODATION THIS SECTION OF NOTES IS APPLICABLE FOR ALL DEVELOPMENTS 4.1. SITE SHEDS, SITE AMENITIES, STORAGE SHEDS, SKIPS, BILLBOARDS, OR CONTAINERS ARE STRICTLY PROHIBITED FROM BEING PLACED ON UNLEASED LAND UNLESS IDENTIFIED ON THE APPROVED LMPP, AND PUBLIC UNLEASED LAND PERMIT. 4.1.1. ONLY SITE AMENITIES ON UNLEASED LAND IDENTIFIED ON THIS LMPP ARE APPROVED. 5. FENCING THIS SECTION IS APPLICABLE FOR ALL DEVELOPMENT SITES ADJACENT TO UNLEASED LAND. PROTECTION FENCING MUST BE IDENTIFIED ON THE LMPP TO PROTECT TERRITORY ASSETS ADJACENT THE DEVELOPMENT SITE. 5.1. PROTECTION FENCING 5.1.1. FENCING MUST BE ERECTED BEFORE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES ON SITE, THIS INCLUDES BUT IS NOT LIMITED TO STARTING OF DEMOLITION WORKS, DELIVERY OF MACHINERY OR MATERIALS, STOCKPILING, STORAGE ETC. 5.1.2. FENCING MUST BE ERECTED IN THE LOCATION, ALIGNMENTS AND MATERIAL INDICATED ON THE APPROVED LMPP AND MUST STOP ACCESS THROUGHOUT CONSTRUCTION. 5.1.3. FENCING MUST REMAIN IN PLACE FOR THE ENTIRETY OF THE PROJECT, AND MAINTAINED IN GOOD, SAFE WORKING ORDER UNTIL OPERATIONAL ACCEPTANCE IS GRANTED. REMOVAL BEFORE DA IS GRANTED MUST BE APPROVED BY LOCAL COUNCIL/AUTHORITY IN WRITING. 5.1.4. FENCING MUST BE RIGID MESH TEMPORARY FENCE PANELS SUPPORTED BY STEEL POSTS AND CONCRETE BASES. SUPPORT POSTS DRIVEN INTO THE GROUND ARE STRICTLY PROHIBITED 5.1.5. ALL CONNECTING FIXTURES/HARDWARE MUST BE SECURELY MOUNTED SO FENCING CANNOT BE DISMANTLED AND REMOVED BY THE PUBLIC. 5.1.6. THE USE OF ALTERNATIVE FENCING MATERIALS MUST BE DISCUSSED WITH, AND APPROVED BY, 5.1.7. FENCING MUST BE SETBACK FROM FOOTPATHS AND CIVIL INFRASTRUCTURE AS PER LOCAL COUNCIL/AUTHORITY REQUIREMENTS 6. 5.1.8.ANY DEVIATION FORM THESE SETBACKS MUST BE CLEARLY NOTED ON THE LMPP FOR REVIEW BY LOCAL COUNCIL/AUTHORITY 7. CANOPY PROTECTION THIS SECTION OF NOTES IS APPLICABLE WHERE THE EXISTING CANOPY OF A TREE ON UNLEASED LAND IS LIKELY TO BE IMPACTED BY CONSTRUCTION WORKS. THE FOLLOWING CANOPY PROTECTION REQUIREMENTS ARE MANDATORY 7.1. THE DEVELOPER IS RESPONSIBLE TO MINIMSE ANY IMPACTS ON THE TREE CANOPIES AND PROTECT ALL EXISTING TREE CANOPIES FROM CONSTRUCTION ACTIVITIES. 7.2. WHERE CANOPY IMPACTS ARE IDENTIFIED, THE FOLLOWING REQUIREMENTS ARE MANDATORY. 7.2.1. IDENTIFY ANY PRUNING REQUIREMENTS ON THE LMPP BY NOTIONALLY INDICATING ON A PHOTOGRAPH WHERE THE LIMBS MAY NEED TO BE PRUNED OR TIED BACK. 7.2.2. WHERE DIRECTED BY LOCAL COUNCIL/AUTHORITY, A SUITABLY QUALIFIED ARBORIST WITH A MINIMUM CERTIFICATE 5 QUALIFICATION MUST BE ENGAGED TO IDENTIFY THE CANOPY IMPACTS AND PROPOSE THE PREFERRED TIE BACK OF LIMBS OR EXTENT OF PRUNING REQUIRED. 7.2.3. WHERE PRUNING IS IDENTIFIED, REFER TO SECTION 5 OF THESE NOTES. 7.3. BRANCH PRUNING OF TERRITORY TREES THIS SECTION OF NOTES IS APPLICABLE WHEREVER PRUNING IS REQUIRED TO TREES ON UNLEASED LAND. ALL PRUNING ACTIVITIES MUST BE INDICATED ON THE APPROVED LMPP. 7.3.1. ALL PRUNING AND TYING OF BRANCHES MUST BE UNDERTAKEN BY SUITABLY QUALIFIED ARBORISTS WITH A MINIMUM CERTIFICATE 3 QUALIFICATION AS PER BEST PRACTICE AS4373. 7.3.2. WHERE PRACTICAL BRANCHES SHOULD BE TIED BACK CLEAR OF THE WORK, AND PRUNING SHOULD ONLY BE USED AS LAST RESORT. 7.3.3. A PRUNING REPORT FROM THE ARBORIST MUST BE COMPLETED AND ISSUED TO LOCAL COUNCIL/AUTHORITY WITH THE LMPP AND LODR FOR APPROVAL BEFORE PRUNING ACTIVITIES CAN COMMENCE. 7.3.4. ONCE THE PRUNING REPORT HAS BEEN ENDORSED BY LOCAL COUNCIL/AUTHORITY, THE PROJECT REPRESENTATIVE MUST NOTIFY LOCAL COUNCIL/AUTHORITY OF WHEN THE PRUNING IS PLANNED TO TAKE PLACE.																																																																																															
B																																																																																																
C	8. TRUNK/BRANCH PROTECTION THIS SECTION IS APPLICABLE WHERE WORK IS REQUIRED WITHIN THE TREE PROTECTION ZONE OF AN EXISTING TREE TRUNK PROTECTION MUST BE INSTALLED WHEN WORK IS REQUIRED WITHIN THE TPZ OF A TREE. 8.1. PROTECTION BATTENS MUST BE PUT IN PLACE BEFORE COMMENCING WORKS AND MAINTAIN IN GOOD CONDITION THROUGHOUT THE WORK PERIOD. PROTECTION BATTENS CAN ONLY BE REMOVED AT THE COMPLETION OF WORKS 8.2. TRUNK PROTECTION (AS PER CURRENT AS4970 REQUIREMENTS) 8.2.1. LOOSELY WRAP THE TRUNK REQUIRING PROTECTION IN A THICK LAYER OF HESSIAN. 8.2.2. USE MINIMUM 2M LENGTHS OF TIMBER FOR THE TRUNK PROTECTION AND INSTALL AT BASE OF TRUNK FOR FULL CIRCUMFERENCE OF TREE. SPACE BATTENS SO GAPS BETWEEN BATTENS ARE NO GREATER THAN 20MM. BATTENS MUST BE UNTREATED TIMBER FREE OF NAILS, SCREWS OR BOLTS. 8.2.3.LASH BATTENS TO TREE USING STRAPS, ROPE OR HESSIAN WEBBING ENSURING THE BATTENS ARE SECURE AGAINST THE TREE, BUT NOT TOO TIGHT ON THE TRUNK. BATTENS MUST BE LASHED AT THE TOP, BOTTOM AND MIDDLE AS A MINIMUM. 8.3. BRANCH PROTECTION (AS PER CURRENT AS4970 REQUIREMENTS) 8.3.1. WHERE LOW HANGING BRANCHES GREATER THAN 100MM IN DIAMETER ARE LIKELY TO BE IMPACTED BY THE WORKS THEY WILL REQUIRE ADDITIONAL PROTECTION. 8.3.2. LOOSELY WRAP THE BRANCHES REQUIRING PROTECTION IN A THICK LAYER OF HESSIAN 8.3.3. USE TIMBER CUT TO LENGTH TO SUIT THE BRANCH REQUIRING PROTECTION AND INSTALL TO FULL CIRCUMFERENCE OF BRANCH. SPACE BATTENS SO GAPS BETWEEN BATTENS ARE NO GREATER THAN 20MM. BATTENS MUST BE UNTREATED TIMBER FREE OF NAILS, SCREWS OF BOLTS. 8.3.4. LASH BATTENS TO TREE USING STRAPS, ROPE OR HESSIAN WEBBING ENSURING THE BATTENS ARE SECURE AGAINST THE TREE, BUT NOT TOO TIGHT ON THE TRUNK. BATTENS MUST BE LASHED AT THE TOP, BOTTOM AND MIDDLE AS A MINIMUM 9. DEMOLITION WITHIN THE TPZ - REFER ALSO CANOPY, TRUNK,BRANCH, ROOT PROTECTION NOTES THIS SECTION OF NOTES IS APPLICABLE WHERE EXISTING INFRASTRUCTURE IS REQUIRED TO BE DEMOLISHED WITHIN THE TPZ OF AN EXISTING TREE 9.1. ONLY THE DEMOLITION WORKS WITHIN TPZ AREAS AS INDICATED ON THE APPROVED LMPP. ANY DEMOLITION WORK WITHIN TPZ AREAS, THAT IS NOT INDICATED ON THE ENDORSED PLAN IS NOT APPROVED BY LOCAL COUNCIL/AUTHORITY AND AN UPDATED LMPP MUST BE PROVIDED TO LOCAL COUNCIL/AUTHORITY FOR RE ENDORSEMENT BEFORE COMMENING THE WORKS. 9.2. DEMOLITION OF OLD PAVEMENT WITHIN TPZ – 9.2.1. ALL CONSTRUCTION WORK IS TO BE COMPLETED PRIOR TO EXCAVATION AND REMOVAL OF THE EXISTING PAVEMENT. THIS IS TO ENSURE THE TREE ROOTS DO NOT DRY OUT BEFORE WORK IS COMPLETED. 8.2.2.TO MINIMISE ROOT DAMAGE, THE REMOVAL OF THE EXISTING PAVEMENT SHALL BE CAREFULLY DONE IN SMALL STAGED SECTIONS AND ONLY TO THE DEPTH OF THE EXISTING MATERIAL (SURFACE LAYER AND BASE LAYER), SO AS TO NOT CAUSE DAMAGE TO TREE ROOTS. 8.2.3.NO MACHINERY IS TO BE ALLOWED WITHIN THE TPZ AND MUST ALWAYS STAY OUTSIDE THIS ZONE DURING THE REMOVAL OF THE OLD PAVEMENT MATERIAL. 8.2.4.ANY DAMAGE TO THE TREE/ TREE ROOTS WHICH CAUSES THE TREE TO DECLINE, WILL REQUIRE TREE REPLACEMENT AT THE DEVELOPER'S EXPENSE.																																																																																															
D	10. EXCAVATION WITHIN THE TREE PROTECTION ZONE (TPZ)- REFER ALSO NOTES SECTION 5.2 AND 8 THIS SECTION OF NOTES IS APPLICABLE WHERE EXCAVATION WITHIN THE TPZ OF A TREE ON UNLEASED LAND IS APPROVED BY LOCAL COUNCIL/AUTHORITY. ALL EXCAVATIONS WITHIN THE TPZ MUST BE SHOWN ON THE LMPP. OTHERWISE IF EXCAVATION IS NOT SHOWN ON THE LMPP THE IMPACT ON THE TREES CAUSED BY THE EXCAVATION IS CONSIDERED UNAPPROVED 10.1. THE TERM "EXCAVATION" IN RELATION TO THIS CLAUSE MEANS ANY EARTH WORKS GREATER THAN 50MM IN DEPTH FROM THE EXISTING SURFACE LEVEL, INCLUDING TRENCHING FOR SERVICES. 10.2. ONLY THE EXCAVATIONS IDENTIFIED ON THIS LMPP ARE APPROVED WITHIN THE TPZ 10.3. EXCAVATION WITHIN THE STRUCTURAL ROOT ZONE (SRZ) OF A TREE AS OUTLINED IN AS4970, IS STRICTLY PROHIBITED. 10.4. EXCAVATION WITHIN THE TPZ MUST BE EXECUTED USING EITHER UNDER-BORING, HYDRO-EXCAVATION OR HAND DIGGING TECHNIQUES, UNLESS AN ALTERNATIVE METHOD HAS BEEN DOCUMENTED AND ENDORSED BY LOCAL COUNCIL/AUTHORITY. 10.5. WHERE IDENTIFIED BY UTS, EXCAVATION TO EXPOSE ROOTS MAY BE REQUIRED TO BE UNDERTAKEN BY LOW-PRESSURE HYDRO-EXCAVATION USING A FAN SHAPED NOZZLE HEAD THAT IS KEPT 15CM FROM SOIL PROFILE. 10.6. A SUITABLY QUALIFIED ARBORIST MUST BE PRESENT WHEN EXCAVATIONS THROUGH THE TPZ OF A TREE ARE BEING EXECUTED. 10.7. NO ROOTS GREATER THAN 30MM IN DIAMETER ARE TO BE CUT, REFER SECTION 5.2 OF THESE NOTES. 10.8. IF ADDITIONAL EXCAVATION WITHIN THE TPZ IS IDENTIFIED TO BE REQUIRED THROUGH THE CONSTRUCTION PERIOD, THE DEVELOPER/CONTRACTOR MUST SEEK APPROVAL FOR THIS EXCAVATION FROM LOCAL COUNCIL/AUTHORITY BEFORE STARTING THE WORKS 11. TREE ROOT PROTECTION –REFER ALSO NOTES SECTION 5.2 THIS SECTION IS APPLICABLE WHERE EXISTING TREE ROOTS ARE FOUND IN EXCAVATION LOCATIONS. 11.1. MOST TREE ROOTS ARE FOUND WITHIN THE TOP 300MM DEPTH OF SOIL, SO THE FOLLOWING PROTECTION MEASURES MUST BE FOLLOWED WHEN ROOTS ARE ENCOUNTERED 11.2. MAINTAIN THE GOOD HEALTH OF THE TREES THAT HAVE HAD DISTURBANCE IN THEIR ROOT ZONE BY CONTINUAL WATERING, AT NO TIME SHALL THE DISTURBED AREA BE ALLOWED TO DRY OUT TO THE DETRIMENT OF THE TREES HEALTH. 11.3. WHERE EXTENSIVE ROOT DAMAGE HAS BEEN CAUSED, THE DEVELOPER MUST SEEK ADVICE FROM AN ARBORIST ABOUT MEASURES TO MINIMISE THE IMPACT OF THE DAMAGE ON THE TREES' HEALTH (ADDITIONAL WATERING, FERTILISING ETC.) 11.4. ALL EXPOSED ROOTS MUST BE BACKFILLED/COVERED WITH SOIL IMMEDIATELY. 11.4.0.1. BACKFILL AROUND TREE ROOTS WILL BE IN ACCORDANCE WITH AS 4970 TO MATCH FINISHED LEVELS WHERE SITE SOIL IS UNABLE TO BE RE-USED, SOIL TO MEET LOCAL COUNCIL/AUTHORITY REQUIREMENTS MUST BE USED UNLESS OTHERWISE APPROVED. 11.0.1. WHERE ROOTS CANNOT BE COVERED IMMEDIATELY THE ROOTS MUST BE PROTECTED FROM DESICCATION BY LIGHTLY WATERING OR COVERING WITH HESSIAN WHICH MUST BE KEPT MOIST. 11.0.1.1. WHERE PROPOSED WORKS COME IN CONTACT WITH TREE ROOTS, A LAYER OF GEOTEXTILE FABRIC MUST BE PLACED OVER ROOTS AND UNDERNEATH ANY NEW PAVEMENT OR INFRASTRUCTURE (DRIVEWAYS AND FOOTPATHS FOR EXAMPLE). 11.1. ROOT PRUNING 11.1.1. CUTTING OF ROOTS SHOULD BE THE LAST RESORT AND ONLY UNDERTAKEN IF NO OTHER OPTION IS AVAILABLE AND ROOT CUTTING IS APPROVED BY LOCAL COUNCIL/AUTHORITY. 11.1.1.1. ALTERNATIVE CONSTRUCTION METHODOLOGY MAY BE PROPOSED BY LOCAL COUNCIL/AUTHORITY, SUCH AS BRIDGING OVER, OR UNDER- BORING UNDER A LARGE ROOT THAT WOULD COMPROMISE ONGOING TREE HEALTH. ROOTS GREATER THAN 30MM IN DIAMETER MUST NOT BE CUT. IF ROOTS GREATER THAN 30MM IN DIAMETER ARE REQUIRED TO BE CUT, APPROVAL FROM LOCAL COUNCIL/AUTHORITY MUST BE SOUGHT BEFORE CUTTING. 11.1.2. ALL ROOTS SHALL BE CUT WITH SUITABLE PROFESSIONAL EQUIPMENT AND BY SUITABLY QUALIFIED ARBORISTS WITH A MINIMUM CERTIFICATE 3 QUALIFICATION. 11.1.3. ANY ROOTS THAT ARE REQUIRED TO BE REMOVED MUST BE CUT CLEANLY WITH CLEAN AND SHARP ARBORIST TOOLS. TREE ROOTS ARE NOT TO BE RIPPED, TORN, OR PULLED AWAY FROM THE ROOT MASS. 11.1.4. ANY DAMAGE TO THE TREE/ TREE ROOTS WHICH CAUSES THE TREE TO DECLINE, WILL REQUIRE TREE REPLACEMENT AT THE DEVELOPER'S EXPENSE.																																																																																															
E	12. VEHICLE ACCESS WITHIN THE TPZ THIS SECTION OF NOTES IS APPLICABLE WHERE ANY VEHICLE MOVEMENT IS REQUIRED THROUGH THE TPZ OF AN EXISTING TREE. ALL ACCESS THROUGH THE TPZ OF AN EXISTING MUST BE INDICATED ON THE APPROVED LMPP. 12.1. VEHICLE ACCESS THROUGH THE TPZ OF AN EXISTING TREE IS STRICTLY PROHIBITED UNLESS INDICATED AND APPROVED ON THE PROJECT LMPP 12.2. VEHICLE ACCESS WITHIN THE STRUCTURAL ROOTS ZONE (REFER CURRENT AS4970) IS STRICTLY PROHIBITED. 12.3. VEHICLE ACCESS THROUGH A LOW HANGING CANOPY IS STRICTLY PROHIBITED (LESS THAN 3.5M CLEARANCE FROM EXISTING GROUND TO THE LOWEST MAJOR LIMB) 12.4. CLEARLY MARK OUT THE APPROVED ACCESS ROUTE ONSITE SO VEHICLES DO NOT DEVIATE FROM THE APPROVED ROUTE. 12.5. ACCESS ROUTE STABILISATION WITHIN THE TPZ 12.5.1.PLACE A MINIMUM 200MM LAYER OF ORGANIC 25MM WOOD CHIP MULCH ON THE AREA OF THE TPZ THE VEHICLE ROUTE THAT PASSES THROUGH. THE MULCH LAYER IS TO BE MAINTAINED AT THIS THICKNESS UNDER AREAS OF TRAFFIC FOR AS LONG AS ACCESS IS REQUIRED. 12.5.1.1. PLACE A PROTECTIVE BOARD (RUMBLE BOARD) OVER THE MULCH ENSURING EACH BOARD IS SECURELY CONNECTED TO THE NEXT BOARD (AS REQUIRED) WITH GAPS NO BETWEEN BOARDS NO GREATER THAN 30MM. 12.5.1.2. BOARDS MUST BE KEPT IN PLACE AND IN GOOD CONDITION FOR THE DURATION OF THE ACCESS REQUIREMENTS. 12.5.2.ALTERNATIVE STABILISATION MATERIALS FOR THE ACCESS ROUTE SUCH AS ACCESS FOR HEAVY VEHICLES, MUST BE DISCUSSED AND APPROVED BY LOCAL COUNCIL/AUTHORITY. 12.6. WHERE VEHICLES ARE LIKELY TO CONFLICT WITH BRANCHES, BRANCH PROTECTION MUST BE IMPLEMENTED. REFER NOTES SECTION 3 FOR LIMB PROTECTION REQUIREMENTS 12.7. IF PRUNING OF A TREE IS REQUIRED TO FACILITATE ACCESS, THIS MUST BE CLEARLY IDENTIFIED ON THE QPRC APPROVED LMPP. REFER NOTES SECTION 5 FOR PRUNING REQUIREMENTS 12.8. VEHICLE ACCESS THROUGH THE TPZ OF AN EXISTING TREE MUST NOT BE CLOSER THAN 3M TO THE TRUNK OF THE TREE (UNLESS OTHERWISE AGREED WITH QPRC) 13. RECTIFICATION OF UNLEASED LAND THIS SECTION OF NOTES IS APPLICABLE TO ALL DEVELOPMENTS 13.1. FOR ALL WORKS, OTHER THAN MINOR WORKS*, AND UNLESS OTHERWISE APPROVED BY LOCAL COUNCIL/AUTHORITY, A SUITABLY QUALIFIED LANDSCAPE ARCHITECT OR HORTICULTURIST SHALL BE EMPLOYED TO ENSURE THAT WORK IN THE VERGE MEETS THE REQUIREMENTS. THE ARCHITECT/HORTICULTURIST SHALL ALSO BE PRESENT DURING ANY CULTIVATION OR RESTORATION OF THE VERGE WHICH AFFECTS PLANT MATERIAL AND SHALL PROVIDE CERTIFICATION, ENDORSED BY THE COORDINATOR, THAT ALL WORK, CULTIVATION AND RESTORATION HAVE BEEN PERFORMED TO INDUSTRY STANDARDS. 13.1.1. * (I.E. MINOR IN COMPLEXITY AND / OR SCOPE OF WORKS AND CONFIRMED AS A MINOR WORKS BY LOCAL COUNCIL/AUTHORITY) 13.2. AT THE FINALISATION OF THE DEVELOPMENT WORKS, THE LOCAL COUNCIL/AUTHORITY ASSETS IN UNLEASED LAND ADJACENT THE DEVELOPMENT MUST BE UNALTERED AND IN THE SAME OR BETTER CONDITION THAN BEFORE THE DEVELOPMENT WORKS COMMENCED, UNLESS ADJUSTMENTS TO THESE ASSETS HAVE BEEN APPROVED BY LOCAL COUNCIL/AUTHORITY AS PART OF THE DEVELOPMENT APPROVALS 13.3. WHERE LOCAL COUNCIL/AUTHORITY ASSETS ON UNLEASED LAND HAVE BEEN DAMAGED BY THE DEVELOPMENT, THESE ASSETS MUST BE FULLY RECTIFIED AT THE COST OF THE DEVELOPER TO THE REQUIREMENTS OF LOCAL COUNCIL/AUTHORITY, OR THE REQUIREMENTS IN THE COMPOSITE VERGE LANDSCAPE PLAN AS APPROVED BY LOCAL COUNCIL/AUTHORITY.																																																																																															
F	LEGEND <table><tr><th>SERVICE</th><th>EXISTING</th><th>PROPOSED</th></tr><tr><td>STORMWATER</td><td></td><td></td></tr><tr><td>WATER</td><td></td><td></td></tr><tr><td>SEWER</td><td></td><td></td></tr><tr><td>WATER (PRIVATE)</td><td></td><td></td></tr><tr><td>SERVICE TO BE EXHAUMED</td><td></td><td></td></tr><tr><td>UTILITY</td><td></td><td></td></tr><tr><td>ELECTRICITY</td><td></td><td></td></tr><tr><td>COMMUNICATION</td><td></td><td></td></tr><tr><td>GAS</td><td></td><td></td></tr><tr><td>SERVICE STRUCTURES</td><td></td><td></td></tr><tr><td>STORMWATER</td><td></td><td></td></tr><tr><td>MANHOLE</td><td></td><td></td></tr><tr><td>GRATED PIT</td><td></td><td></td></tr><tr><td>SUMP</td><td></td><td></td></tr><tr><td>ENDCAP</td><td></td><td></td></tr><tr><td>WATER</td><td></td><td></td></tr><tr><td>HYDRANT</td><td></td><td></td></tr><tr><td>WATER METER</td><td></td><td></td></tr><tr><td>STOCK COCK / VALVE</td><td></td><td></td></tr><tr><td>THRUST BLOCK</td><td></td><td></td></tr><tr><td>SEWER</td><td></td><td></td></tr><tr><td>MANHOLE</td><td></td><td></td></tr><tr><td>ENDCAP</td><td></td><td></td></tr><tr><td>OTHER</td><td></td><td></td></tr><tr><td>STREET LIGHT</td><td></td><td></td></tr><tr><td>ELECTRICITY POLE</td><td></td><td></td></tr><tr><td>STREET TREE INC 2m TPZ</td><td></td><td></td></tr></table>												SERVICE	EXISTING	PROPOSED	STORMWATER			WATER			SEWER			WATER (PRIVATE)			SERVICE TO BE EXHAUMED			UTILITY			ELECTRICITY			COMMUNICATION			GAS			SERVICE STRUCTURES			STORMWATER			MANHOLE			GRATED PIT			SUMP			ENDCAP			WATER			HYDRANT			WATER METER			STOCK COCK / VALVE			THRUST BLOCK			SEWER			MANHOLE			ENDCAP			OTHER			STREET LIGHT			ELECTRICITY POLE			STREET TREE INC 2m TPZ		
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G	LANDSCAPE MANAGEMENT <table><tr><th>ITEM</th><th>LEGEND</th></tr><tr><td>SITE ACCESS LOCATION</td><td></td></tr><tr><td>STABILISED CONSTRUCTION ACCESS</td><td></td></tr><tr><td>TREE TO BE REMOVED</td><td></td></tr><tr><td>SERVICE TRENCH</td><td></td></tr><tr><td>SITE / TEMP FENCING</td><td></td></tr></table>												ITEM	LEGEND	SITE ACCESS LOCATION		STABILISED CONSTRUCTION ACCESS		TREE TO BE REMOVED		SERVICE TRENCH		SITE / TEMP FENCING																																																																									
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	5 TORRENS STREET BRADDON ACT 2612 WWW.ACTCE.COM.AU - OFFICE@ACTCE.COM.AU - 081 693 0671	Use written dimensions only. This drawing, and the information contained within, is copyright to ACT Consulting Engineers Pty Ltd. Using or copying this drawing, in part or whole, without the prior consent of ACT Consulting Engineers Pty Ltd may result in legal action. ©ACT Consulting Engineers Pty Ltd	NORTH:	<table><tr><th>REV</th><th>REVISION</th><th>DATE</th><th>DESIGNED</th><th>DRAWN</th><th>APPROVED</th></tr><tr><td>A</td><td>FOR DEVELOPMENT APPLICATION</td><td>29.11.2023</td><td>L.K</td><td>L.K</td><td>L.K</td></tr><tr><td>B</td><td>FOR DEVELOPMENT APPLICATION</td><td>27.11.2024</td><td>L.K</td><td>R.J</td><td>L.K</td></tr><tr><td>C</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>D</td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>E</td><td></td><td></td><td></td><td></td><td></td></tr></table>	REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED	A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K	B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K	C						D						E						CLIENT:	LOCKBRIDGE	PROJECT:	MIXED-USE DEVELOPMENT	SITE ADDRESS:	50 MORRISSET ST MORRISSET STREET QUEANBEYAN	SCALE: AS SHOWN PROJECT No.: 23-0874 DRAWING TITLE: CONSTRUCTION MANAGEMENT NOTES AND DETAILS	DATE: 27.11.2024 REVISION: B	DWG No.: C02																																															
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Date Plotted: 27/11/2024

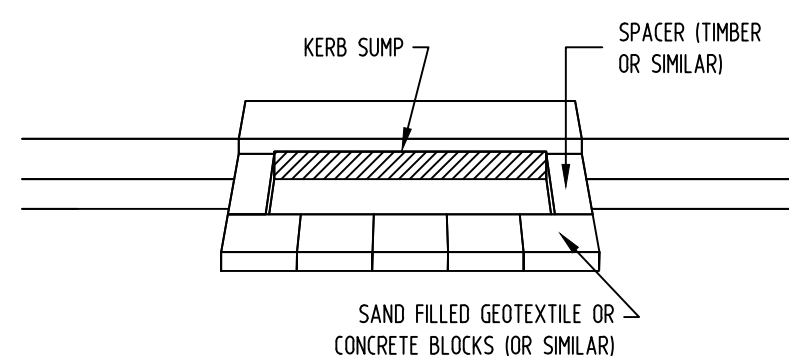
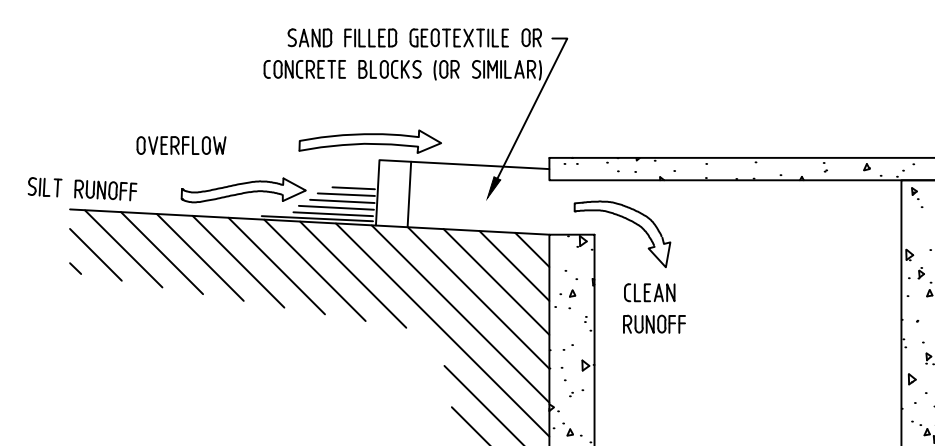




SEDIMENT CONTROL DETAILS



STABILISED CONSTRUCTION ACCESS

KERB INLET FILTER

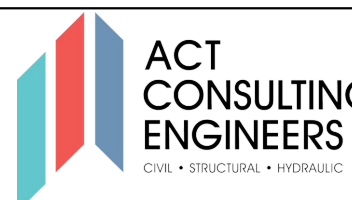
KERB INLET FILTER - SECTION

TOTAL SITE AREA:	-----m ²
SITE CONTRACTOR:	-----
SITE SUPERVISOR:	-----
CONTACT NUMBER:	-----
EPA AGREEMENT No.	-----

WORK HOURS		
BUILDING WORK DETAIL	MONDAY TO SATURDAY	SUNDAY AND PUBLIC HOLIDAYS
INDUSTRIAL, CITY AND TOWN CENTRES	6AM TO 8PM	6AM TO 8 PM
ANY OTHER AREA WHEN COMPLETED WITHIN 2 WEEKS	7AM TO 6PM	8AM TO 8PM
ANY OTHER AREA WHEN NOT COMPLETED WITHIN 2 WEEKS	7AM TO 6PM	CONSTRUCTION WORK MUST NOT EXCEED NON STANDARD

ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE RELEVANT NSW AND COUNCIL GUIDELINES

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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K
C					
D					
E					

CLIENT:	
---------	--

LOCKBRIDGE

PROJECT:	
----------	--

MIXED-USE
DEVELOPMENT

SITE ADDRESS:

50 MORRISET ST
MORISSET STREET
QUEANBEYAN

SCALE:

AS SHOWN

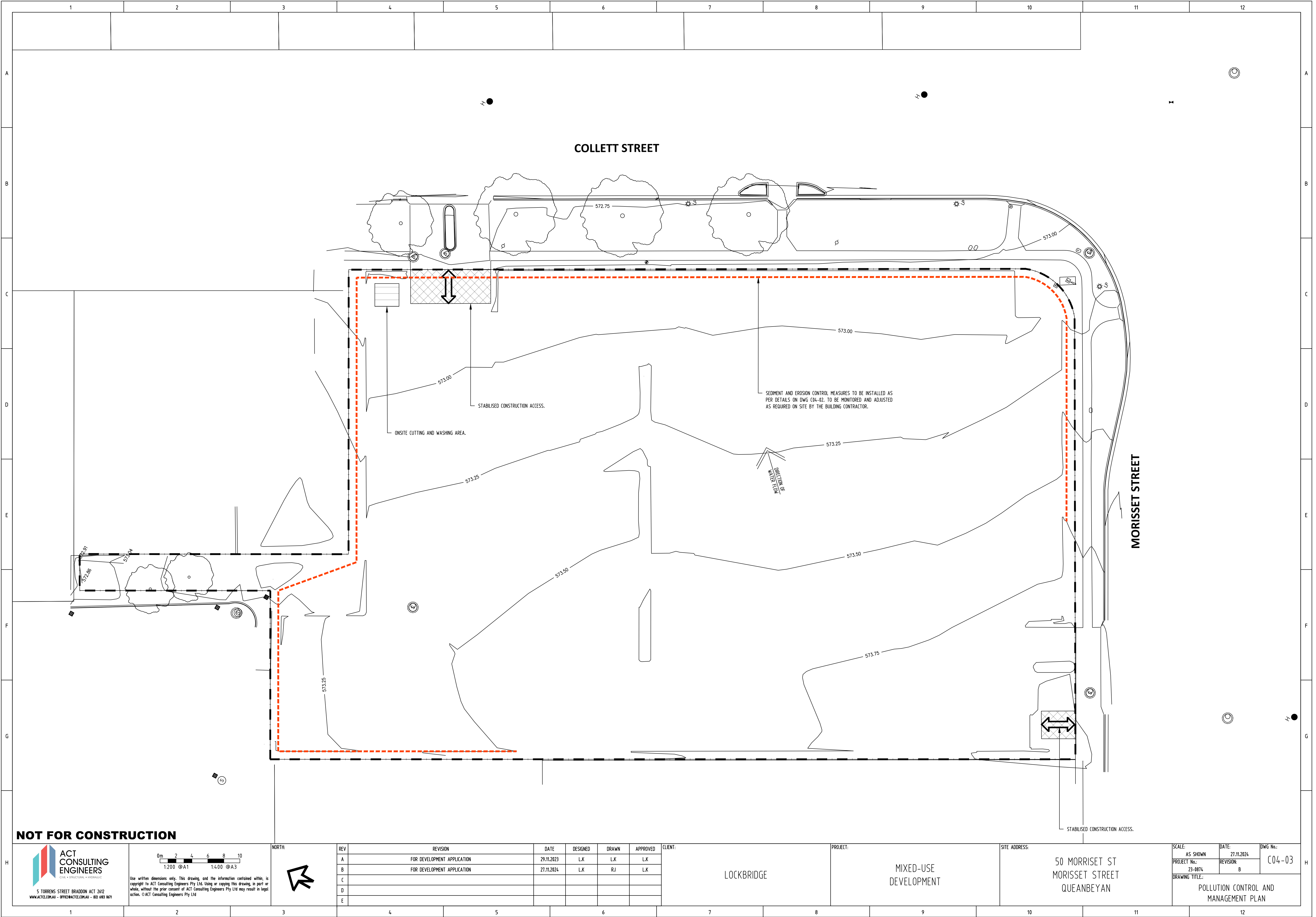
PROJECT No.: 22-0071

DRAWING TITLE:

DWG No.:

501 02

POLLUTION CONTROL AND MANAGEMENT NOTES 2

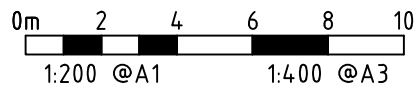


NOT FOR CONSTRUCTION



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CIVIL • STRUCTURAL • HYDRAULIC

5 TORRENS STREET BRADDON ACT 2612
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NORTH:



REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K
C					
D					
E					

CLIENT:

LOCKBRIDGE

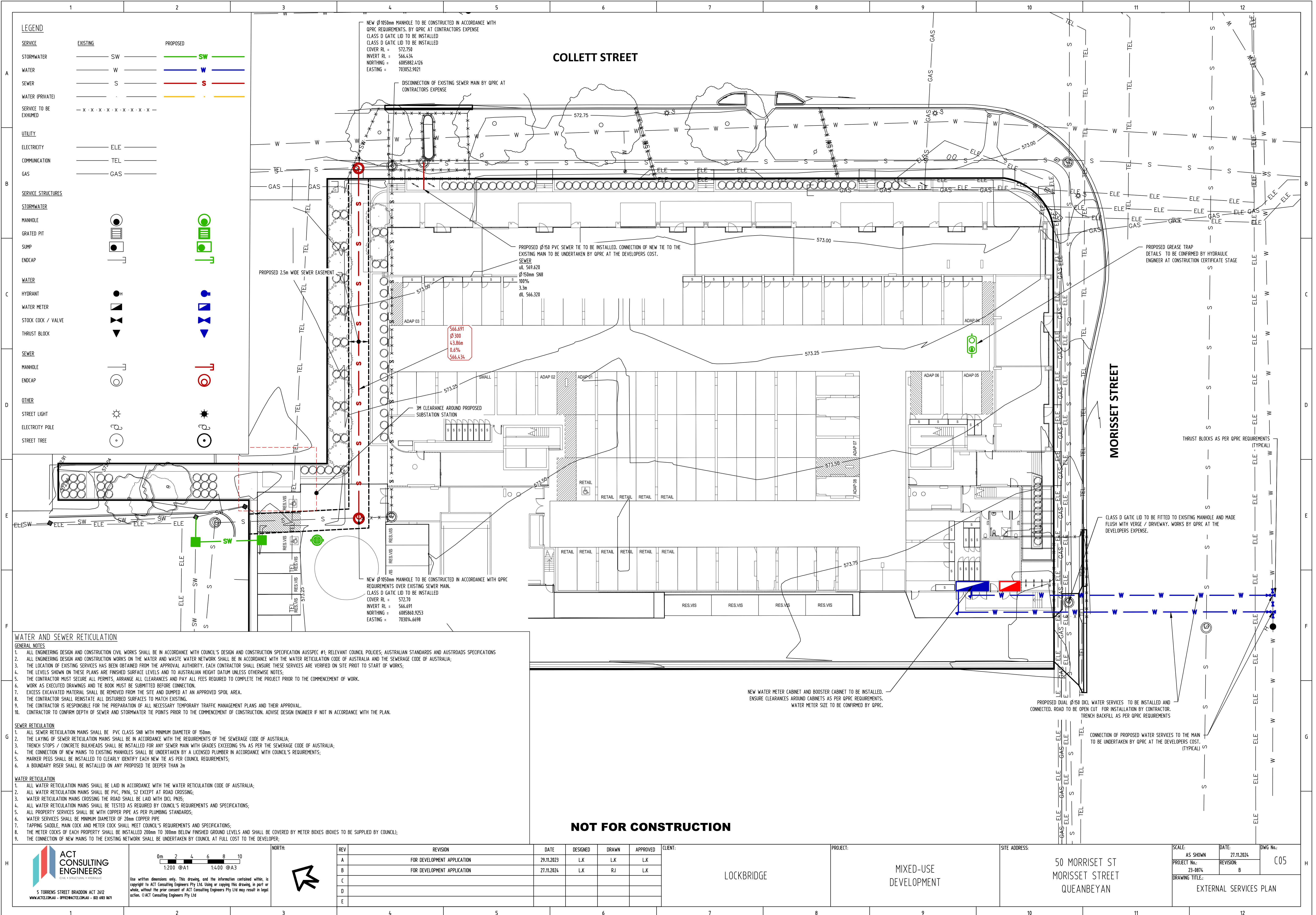
PROJECT:

MIXED-USE
DEVELOPMENT

SITE ADDRESS:

50 MORRISSET ST
MORRISSET STREET
QUEANBEYAN

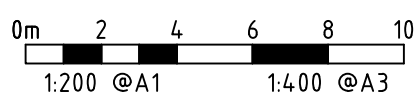
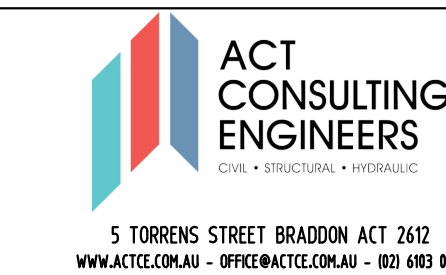
SCALE: AS SHOWN	DATE: 27.11.2024	DWG No.: C04-03
PROJECT No.: 23-0874	REVISION: B	
DRAWING TITLE: POLLUTION CONTROL AND MANAGEMENT PLAN		



- WATER AND SEWER RETICULATION**
- GENERAL NOTES**
1. ALL ENGINEERING DESIGN AND CONSTRUCTION CIVIL WORKS SHALL BE IN ACCORDANCE WITH COUNCIL'S DESIGN AND CONSTRUCTION SPECIFICATION AUSSPEC #1; RELEVANT COUNCIL POLICIES; AUSTRALIAN STANDARDS AND AUSTRORoads SPECIFICATIONS
 2. ALL ENGINEERING DESIGN AND CONSTRUCTION WORKS ON THE WATER AND WASTE WATER NETWORK SHALL BE IN ACCORDANCE WITH THE WATER RETICULATION CODE OF AUSTRALIA AND THE SEWERAGE CODE OF AUSTRALIA;
 3. THE LOCATION OF EXISTING SERVICES HAS BEEN OBTAINED FROM THE APPROVAL AUTHORITY. EACH CONTRACTOR SHALL ENSURE THESE SERVICES ARE VERIFIED ON SITE PRIOT TO START OF WORKS;
 4. THE LEVELS SHOWN ON THESE PLANS ARE FINISHED SURFACE LEVELS AND TO AUSTRALIAN HEIGHT DATUM UNLESS OTHERWISE NOTES;
 5. THE CONTRACTOR MUST SECURE ALL PERMITS, ARRANGE ALL CLEARANCES AND PAY ALL FEES REQUIRED TO COMPLETE THE PROJECT PRIOR TO THE COMMENCEMENT OF WORK.
 6. WORK AS EXECUTED DRAWINGS AND THE BOOK MUST BE SUBMITTED BEFORE CONNECTION.
 7. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AND DUMPED AT AN APPROVED SPOIL AREA.
 8. THE CONTRACTOR SHALL REINSTATE ALL DISTURBED SURFACES TO MATCH EXISTING.
 9. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF ALL NECESSARY TEMPORARY TRAFFIC MANAGEMENT PLANS AND THEIR APPROVAL.
 10. CONTRACTOR TO CONFIRM DEPTH OF SEWER AND STORMWATER TIE POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ADVISE DESIGN ENGINEER IF NOT IN ACCORDANCE WITH THE PLAN.

- SEWER RETICULATION**
1. ALL SEWER RETICULATION MAINS SHALL BE PVC CLASS SN8 WITH MINIMUM DIAMETER OF 150mm;
 2. THE LAYING OF SEWER RETICULATION MAINS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWERAGE CODE OF AUSTRALIA;
 3. TRENCH STOPS / CONCRETE BULKHEADS SHALL BE INSTALLED FOR ANY SEWER MAIN WITH GRADES EXCEEDING 5% AS PER THE SEWERAGE CODE OF AUSTRALIA;
 4. THE CONNECTION OF NEW MAINS TO EXISTING MANHOLES SHALL BE UNDERTAKEN BY A LICENSED PLUMBER IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS;
 5. MARKER PEGS SHALL BE INSTALLED TO CLEARLY IDENTIFY EACH NEW TIE AS PER COUNCIL REQUIREMENTS;
 6. A BOUNDARY RISER SHALL BE INSTALLED ON ANY PROPOSED TIE DEEPER THAN 2m

- WATER RETICULATION**
1. ALL WATER RETICULATION MAINS SHALL BE LAID IN ACCORDANCE WITH THE WATER RETICULATION CODE OF AUSTRALIA;
 2. ALL WATER RETICULATION MAINS SHALL BE PVC, PN16, S2 EXCEPT AT ROAD CROSSING;
 3. WATER RETICULATION MAINS CROSSING THE ROAD SHALL BE LAID WITH DCL PN95;
 4. ALL WATER RETICULATION MAINS SHALL BE TESTED AS REQUIRED BY COUNCIL'S REQUIREMENTS AND SPECIFICATIONS;
 5. ALL PROPERTY SERVICES SHALL BE WITH COPPER PIPE AS PER PLUMBING STANDARDS;
 6. WATER SERVICES SHALL BE MINIMUM DIAMETER OF 20mm COPPER PIPE
 7. TAPPING SADDLE, MAIN COCK AND METER COCK SHALL MEET COUNCIL'S REQUIREMENTS AND SPECIFICATIONS;
 8. THE METER COCKS OF EACH PROPERTY SHALL BE INSTALLED 200mm TO 300mm BELOW FINISHED GROUND LEVELS AND SHALL BE COVERED BY METER BOXES (BOXES TO BE SUPPLIED BY COUNCIL);
 9. THE CONNECTION OF NEW MAINS TO THE EXISTING NETWORK SHALL BE UNDERTAKEN BY COUNCIL AT FULL COST TO THE DEVELOPER;



NORTH:



REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K
C					
D					
E					

CLIENT:

LOCKBRIDGE

PROJECT:

MIXED-USE
DEVELOPMENT

SITE ADDRESS:

50 MORRISSET ST
MORRISSET STREET
QUEANBEYAN

SCALE: AS SHOWN	DATE: 27.11.2024	DWG No.: C05
PROJECT No.: 23-0874	REVISION: B	
DRAWING TITLE: EXTERNAL SERVICES PLAN		

DRIVEWAY CONSTRUCTION AND CONCRETE WORKS

GENERAL NOTES

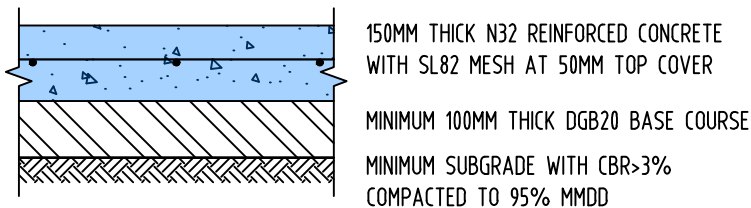
- THE COST OF OFF SITE CONCRETE WORKS ARE TO BE AT FULL COST TO THE DEVELOPER.
- THE MODIFICATION OF EXISTING VERGE LEVELS IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL FROM LOCAL COUNCIL/AUTHORITY.
- DRIVEWAYS ARE TO BE CONSTRUCTED, UNLESS NOTED OTHERWISE, A MINIMUM OF
 - 1200mm AWAY FROM INFRASTRUCTURE SUCH AS SUMPS AND PITS;
 - 1500mm AWAY FROM STREET LIGHTS, PILLARS, SUBSTATIONS, AND BUS SHELTERS;
 - 3000mm AWAY FROM TREES;

SPECIFICATION - DRIVEWAYS

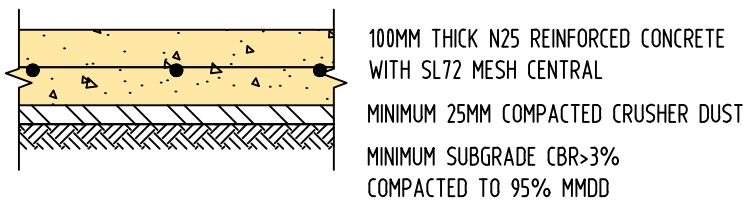
- ALL CONCRETE SHALL BE GRADE 32 (32 MPa), AGGREGATE SIZE TO BE 20mm MAXIMUM.
- PAVEMENT TO BE MINIMUM OF 150mm THICK AND REINFORCED WITH SL82 MESH AT 50mm TOP COVER UNLESS OTHERWISE NOTED.
- ALL DRIVEWAYS SHALL BE CONSTRUCTED ON GRANULAR SUBBASE CLASS 1 WITH 75MM MINIMUM THICKNESS AND COMPACTED TO 95% MMD.
- DRIVEWAYS SHALL BE INSPECTED AT FORM WORK, PRIOR TO POURING CONCRETE, BY A MEMBER OF LOCAL COUNCIL/AUTHORITY OR THE DESIGN ENGINEER.
- BROOMED FINISH TO BE APPLIED TO ALL KERB CROSSINGS AND PRAM RAMP. ALL OTHER EXPOSED SURFACES TO HAVE STEEL FLOAT FINISH.
- ALL CONCRETE TO BE WATER CURED CONTINUOUSLY FOR 3 DAYS OR ALTERNATIVELY COATED WITH AN APPROVED CURING COMPOUND.

SPECIFICATION - KERBS, FOOTPATHS AND MINOR WORKS

- CONSTRUCTION OF CONCRETE KERBING, LAYBACKS AND FOOTPATHS SHALL BE DONE IN ACCORDANCE WITH LOCAL COUNCIL/AUTHORITY STANDARD DRAWINGS AND SPECIFICATIONS.
- ALL CONCRETE TO BE MINIMUM GRADE N25 (25MPa) UNLESS NOTED OTHERWISE. AGGREGATE SIZE TO BE 20 MAXIMUM.
- JOINTS IN THE CONCRETE SHALL BE AS PER THE GIVEN DETAILS, IN ACCORDANCE WITH LOCAL COUNCIL/AUTHORITY STANDARDS.
- ALL KERBS, GUTTERS, INVERTS AND CROSSINGS TO BE CONSTRUCTED ON COMPACTED GRANULAR SUBBASE CLASS 1 (SB1) OF 75mm MINIMUM THICKNESS OR AS OTHERWISE DETAILED.
- EXPANSION JOINTS (EJ) TO BE SEALED WITH 12mm JOINTEX FOR THE FULL DEPTH OF THE SECTION AND CUT TO PROFILE. EJS TO BE LOCATED AT ALL DRAINAGE STRUCTURES (BOTH SIDES), ON TP's OF CURVES LESS THAN 15m RADIUS AND ELSEWHERE AT 15m CENTRES.
- WEAKENED PLANE JOINTS (WJ) TO BE 3mm WIDE TO 1/4 DEPTH FOR EXTRUDED WORK AND TO THE FULL DEPTH OF FORMED SECTIONS. WJ's TO BE LOCATED AT ALL VCs, PCs AND ELSEWHERE AT 3m CENTRES.
- FOR KG NOT LAID BY MACHINE, RADIUS AT THE TOP OF KERB FACE TO BE REDUCED TO 10mm.
- BROOMED FINISH TO BE APPLIED TO ALL KERB CROSSINGS AND PRAM RAMP. ALL OTHER EXPOSED SURFACES TO HAVE STEEL FLOAT FINISH.
- ALL CONCRETE TO BE WATER CURED CONTINUOUSLY FOR 3 DAYS OR ALTERNATIVELY COATED WITH AN APPROVED CURING COMPOUND.



CONCRETE PAVEMENT - 150mm

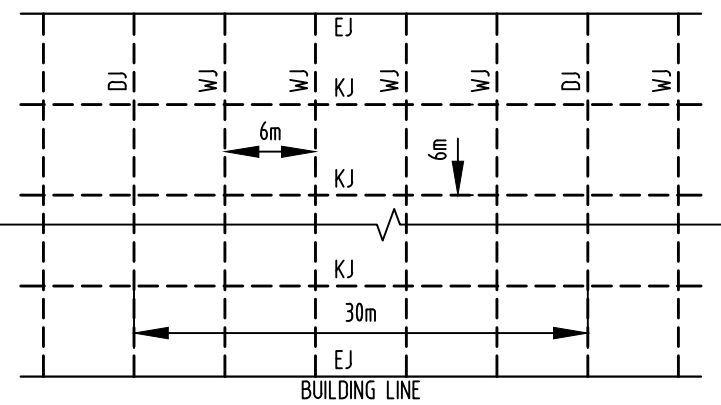


FOOTPATH DETAIL

GENERAL JOINTING DETAILS

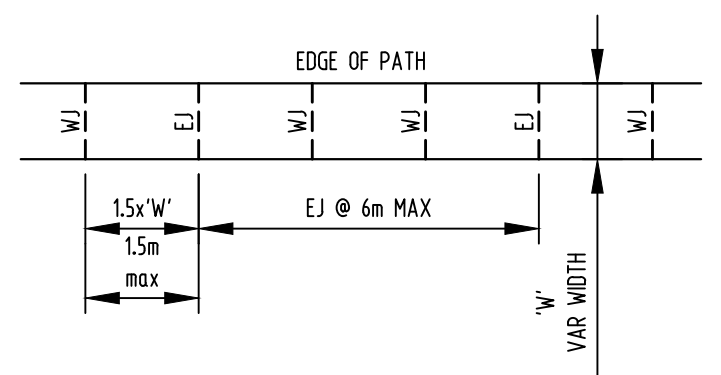
GENERAL DRIVEWAY JOINT DETAILS

- JOINTS ON THE VERGE CROSSING IS TO BE AS PER DETAIL PROVIDED IN THESE DRAWINGS.
- PROVIDE 10MM WIDE FULL DEPTH EXPANSION JOINTS BETWEEN BUILDINGS AND ALL OTHER CONCRETE SURFACES.
- JOINT PATTERN AND LAYOUT TO BE USED AS A GUIDE ONLY. TO BE CONFIRMED ON SITE BY THE BUILDER / CONTRACTORS.

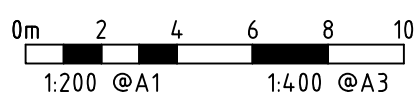
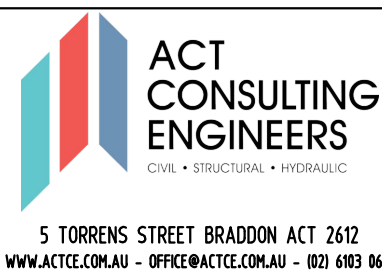


FOOTPATH JOINT DETAILS

- EXPANSION JOINTS ARE TO BE LOCATED AT A MAXIMUM DISTANCE OF 6m APART AND ON ALL JOINTS TO OTHER EXISTING PATHS, VERGE CROSSINGS OR STRUCTURES.
- THE NEW JOINT PATTERN SHALL MATCH THE EXISTING ADJOINING JOINT PATTERN TO PROMOTE PEDESTRIAN TRAFFIC MOVEMENTS.



NOT FOR CONSTRUCTION



NORTH:



REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED	CLIENT:
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K	LOCKBRIDGE
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K	
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D						
E						

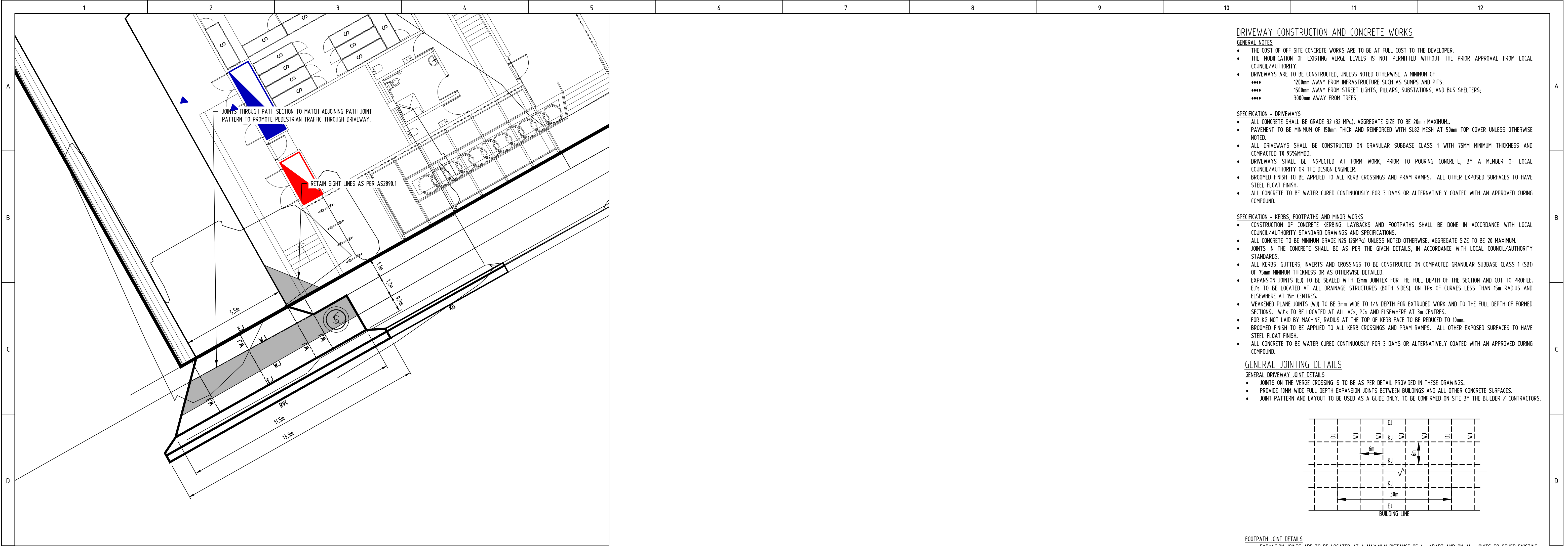
PROJECT:
MIXED-USE
DEVELOPMENT

SITE ADDRESS:
50 MORRISSET ST
MORRISSET STREET
QUEANBEYAN

SCALE:
AS SHOWN
PROJECT No.:
23-0874
DRAWING TITLE:
CIVIL WORKS PLAN

DATE:
27.11.2024
REVISION:
B

DWG No.:
C06



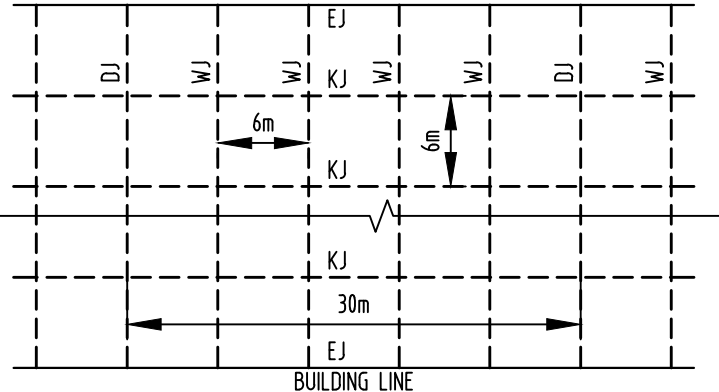
DRIVEWAY CONSTRUCTION AND CONCRETE WORKS

- GENERAL NOTES**
- THE COST OF OFF SITE CONCRETE WORKS ARE TO BE AT FULL COST TO THE DEVELOPER.
 - THE MODIFICATION OF EXISTING VERGE LEVELS IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL FROM LOCAL COUNCIL/AUTHORITY.
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 - 3000mm AWAY FROM TREES;

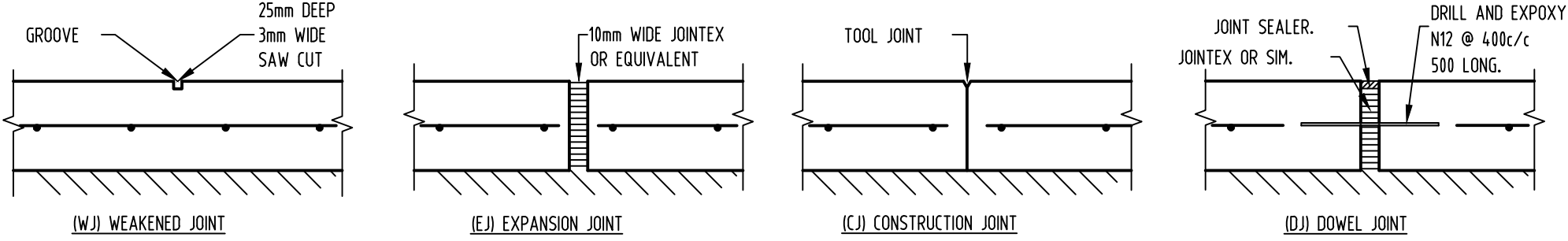
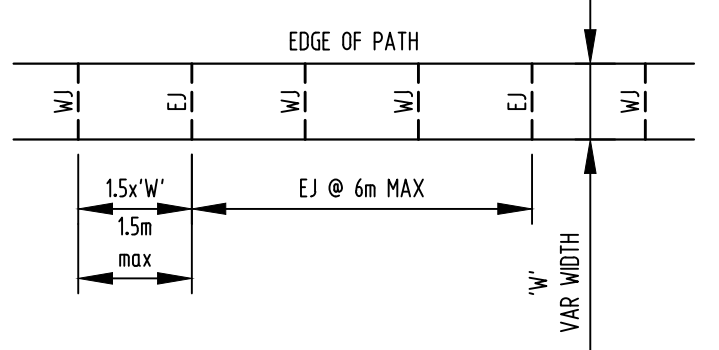
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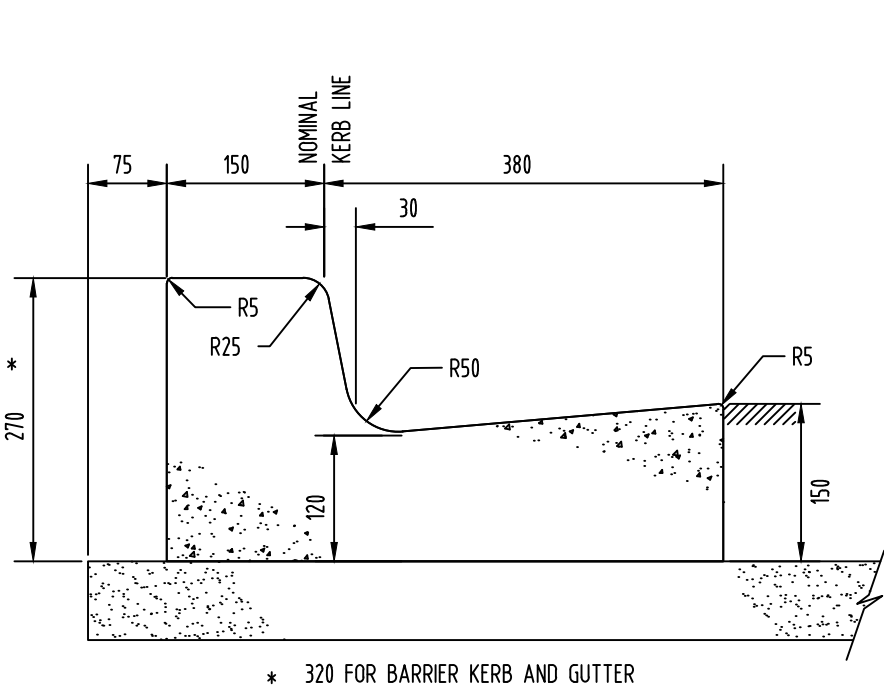
- GENERAL JOINTING DETAILS**
- GENERAL DRIVEWAY JOINT DETAILS**
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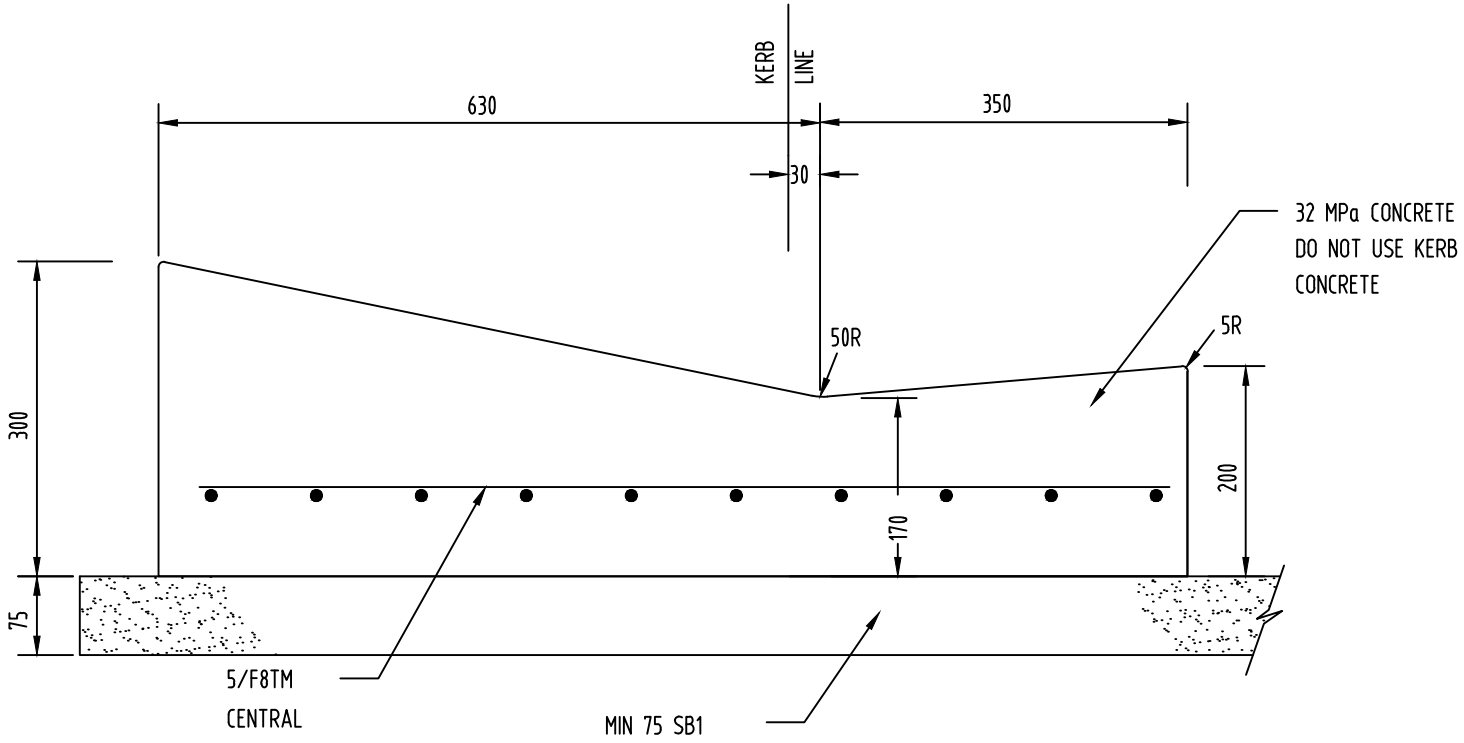
JOINT DETAILS



KERB & GUTTER (KG)

BARRIER KERB & GUTTER (BKG)

SCALE 1:10



REINFORCED VEHICLE CROSSING

SCALE 1:10

ACT CONSULTING ENGINEERS

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5 TORRENS STREET BRADDON ACT 2612

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0m12345

1:100 @A11:200 @A3

NORTH:

REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K
C					
D					
E					

CLIENT: LOCKBRIDGE

MIXED-USE DEVELOPMENT

SITE ADDRESS: 50 MORRISSET ST
MORRISSET STREET
QUEANBEYAN

SCALE: AS SHOWN
PROJECT No.: 23-0874
DRAWING TITLE: CIVIL WORKS DETAILS PLAN

DATE: 27.11.2024
REVISION: B

DWG No.: C07

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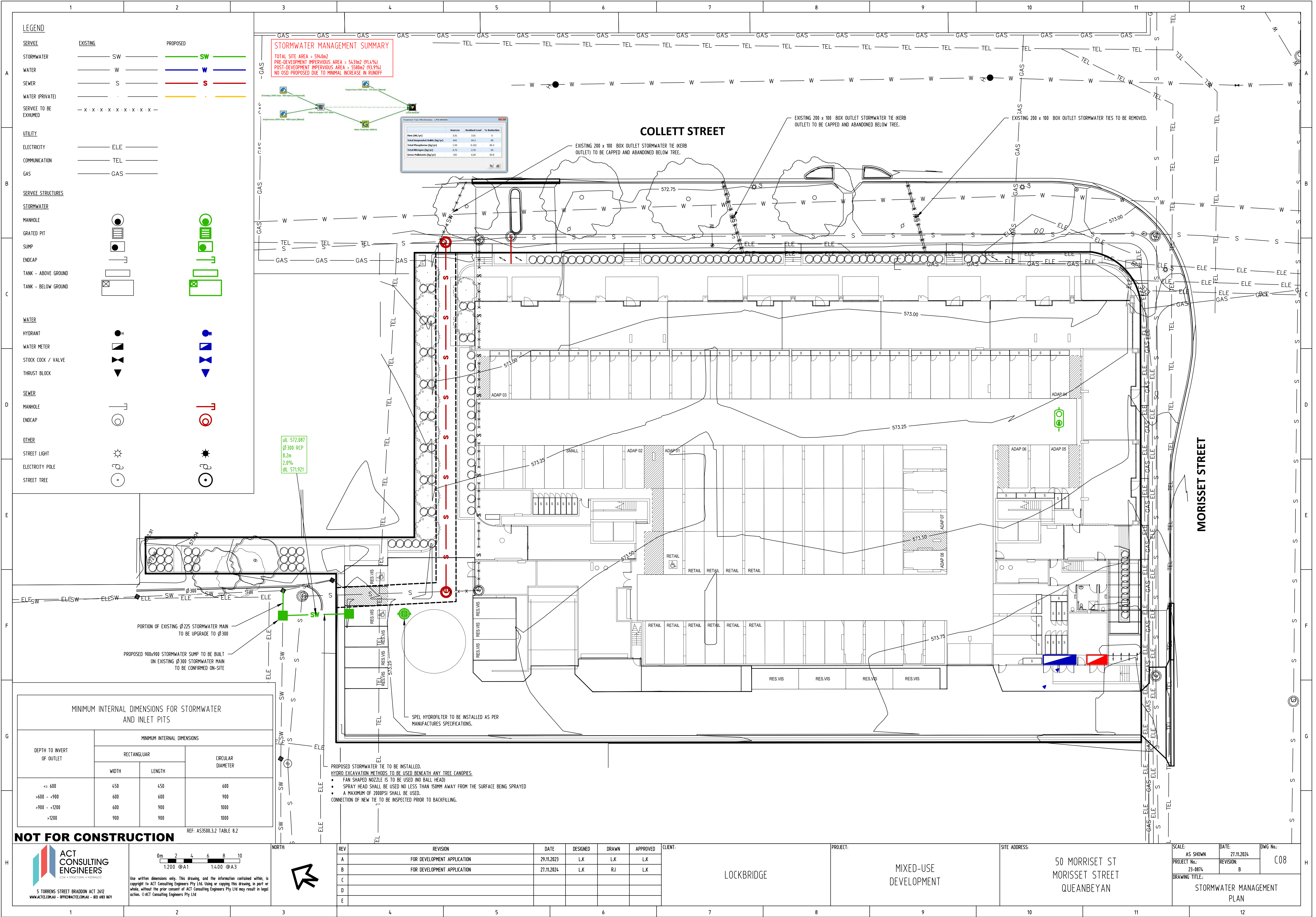
9

10

11

12

Date Plotted: 27/11/2024



STORMWATER MANAGEMENT SUMMARY
TOTAL SITE AREA = 5940m²
PRE-DEVELOPMENT IMPERVIOUS AREA = 5431m² (91.4%)
POST-DEVELOPMENT IMPERVIOUS AREA = 5580m² (93.9%)
NO OSD PROPOSED DUE TO MINIMAL INCREASE IN RUNOFF

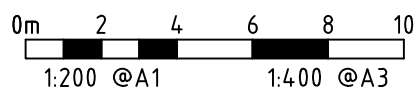
Flow (ML/yr)	3.03	3.03	0
Total Suspended Solids (kg/yr)	848	84.2	86
Total Phosphorus (kg/yr)	1.04	0.103	84.3
Total Nitrogen (kg/yr)	6.72	2.35	65
Carbon (kg/yr)	100	4.26	93.4

UL 572.087
Ø300 RCP
8.2m
2.0%
dIL 571.921

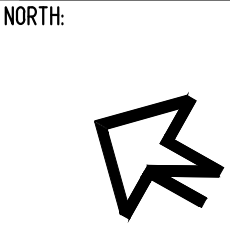
DEPTH TO INVERT OF OUTLET	MINIMUM INTERNAL DIMENSIONS		
	RECTANGULAR		CIRCULAR DIAMETER
	WIDTH	LENGTH	
≤ 600	450	450	600
>600 - <900	600	600	900
>900 - <1200	600	900	1000
>1200	900	900	1000

REF: AS3500.3.2 TABLE 8.2

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REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K
C					
D					
E					

CLIENT:

LOCKBRIDGE

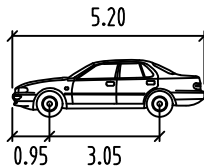
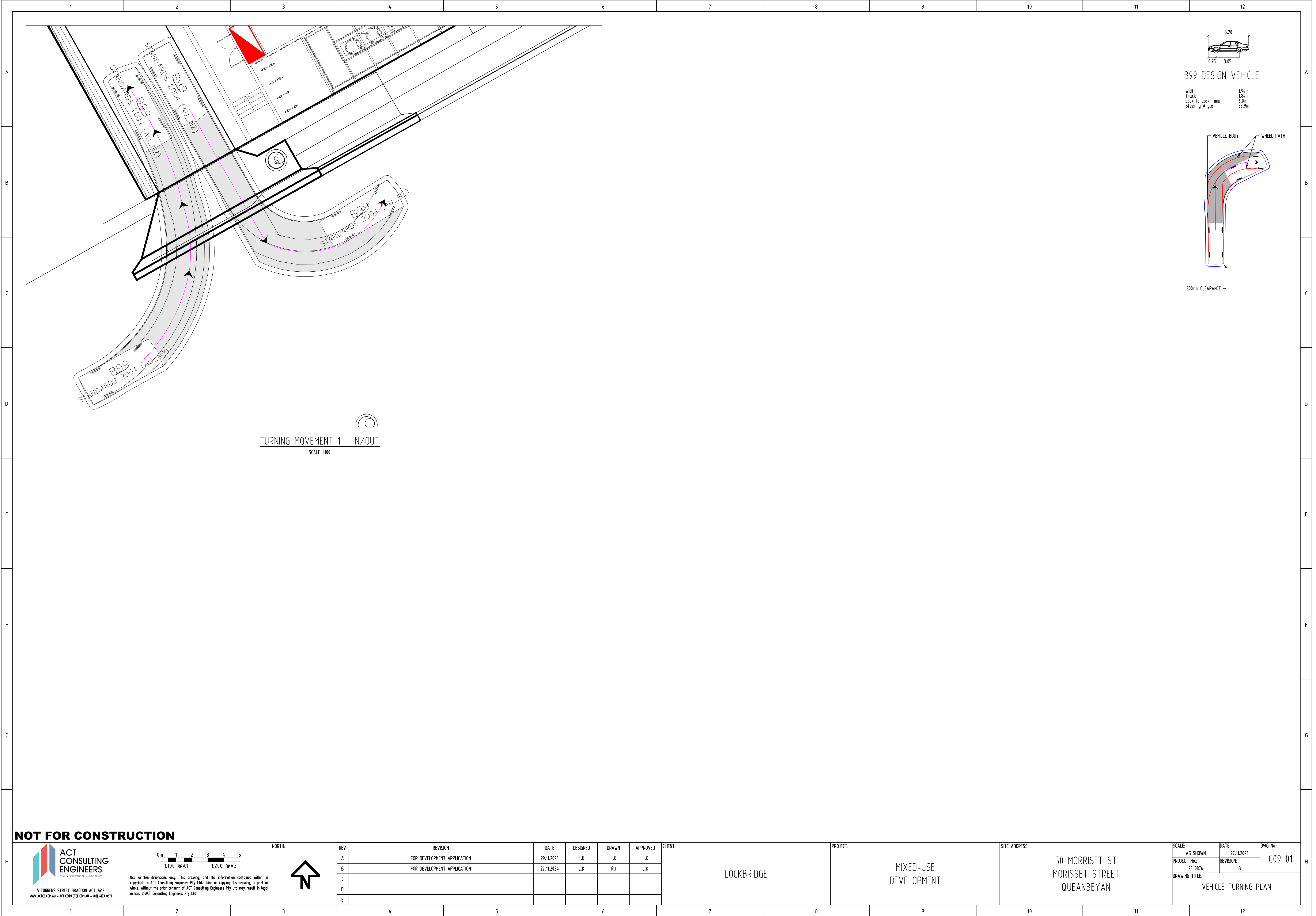
PROJECT:

MIXED-USE
DEVELOPMENT

SITE ADDRESS:

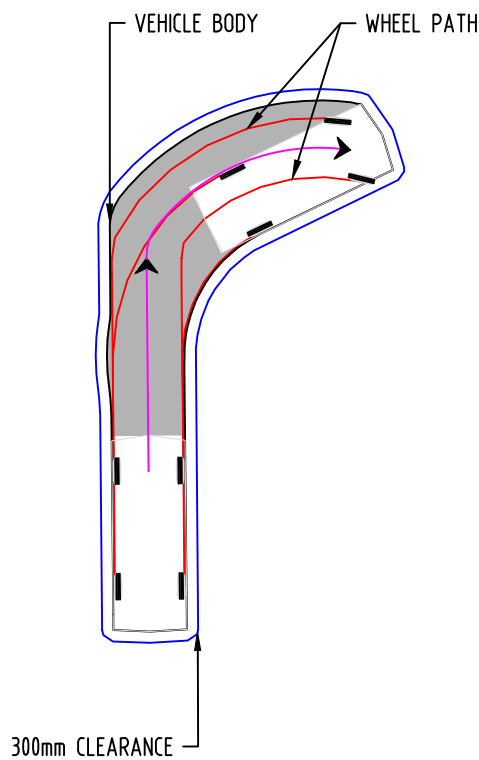
50 MORRISSET ST
MORRISSET STREET
QUEANBEYAN

SCALE: AS SHOWN	DATE: 27.11.2024	DWG No.: C08
PROJECT No.: 23-0874	REVISION: B	
DRAWING TITLE: STORMWATER MANAGEMENT PLAN		

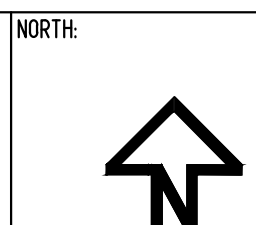


B99 DESIGN VEHICLE

Width : 1.94m
Track : 1.84m
Lock to Lock Time : 6.0m
Steering Angle : 33.9m

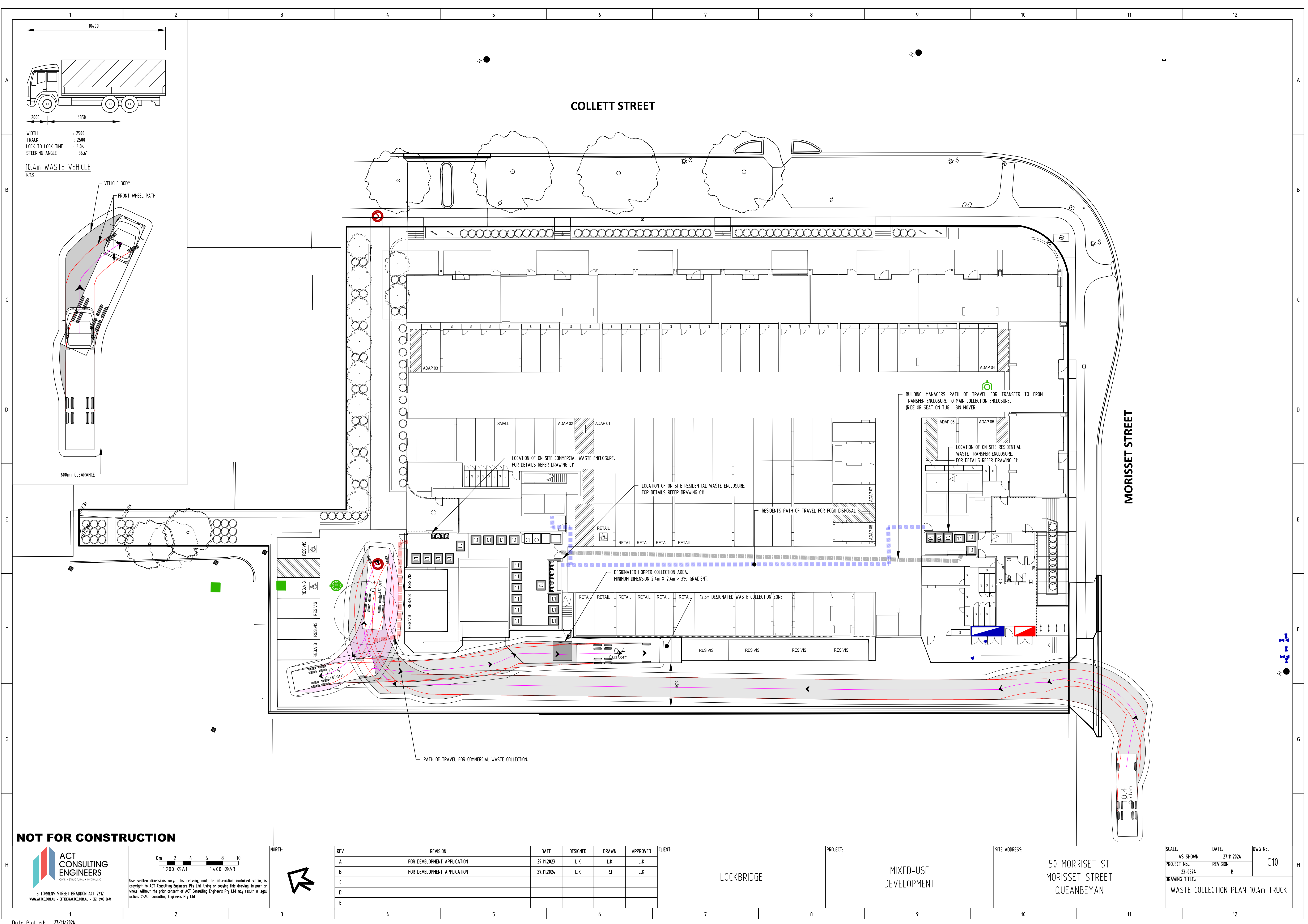


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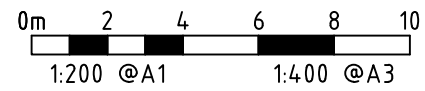


REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K
C					
D					
E					

CLIENT:	PROJECT:	SITE ADDRESS:	SCALE:	DATE:	DWG No.:
LOCKBRIDGE	MIXED-USE DEVELOPMENT	50 MORRISSET ST MORISSET STREET QUEANBEYAN	AS SHOWN PROJECT No.: 23-0874	27.11.2024 REVISION: B	C09-01
DRAWING TITLE: VEHICLE TURNING PLAN					

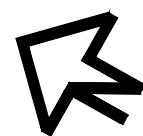


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NORTH:



REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K
C					
D					
E					

CLIENT:

LOCKBRIDGE

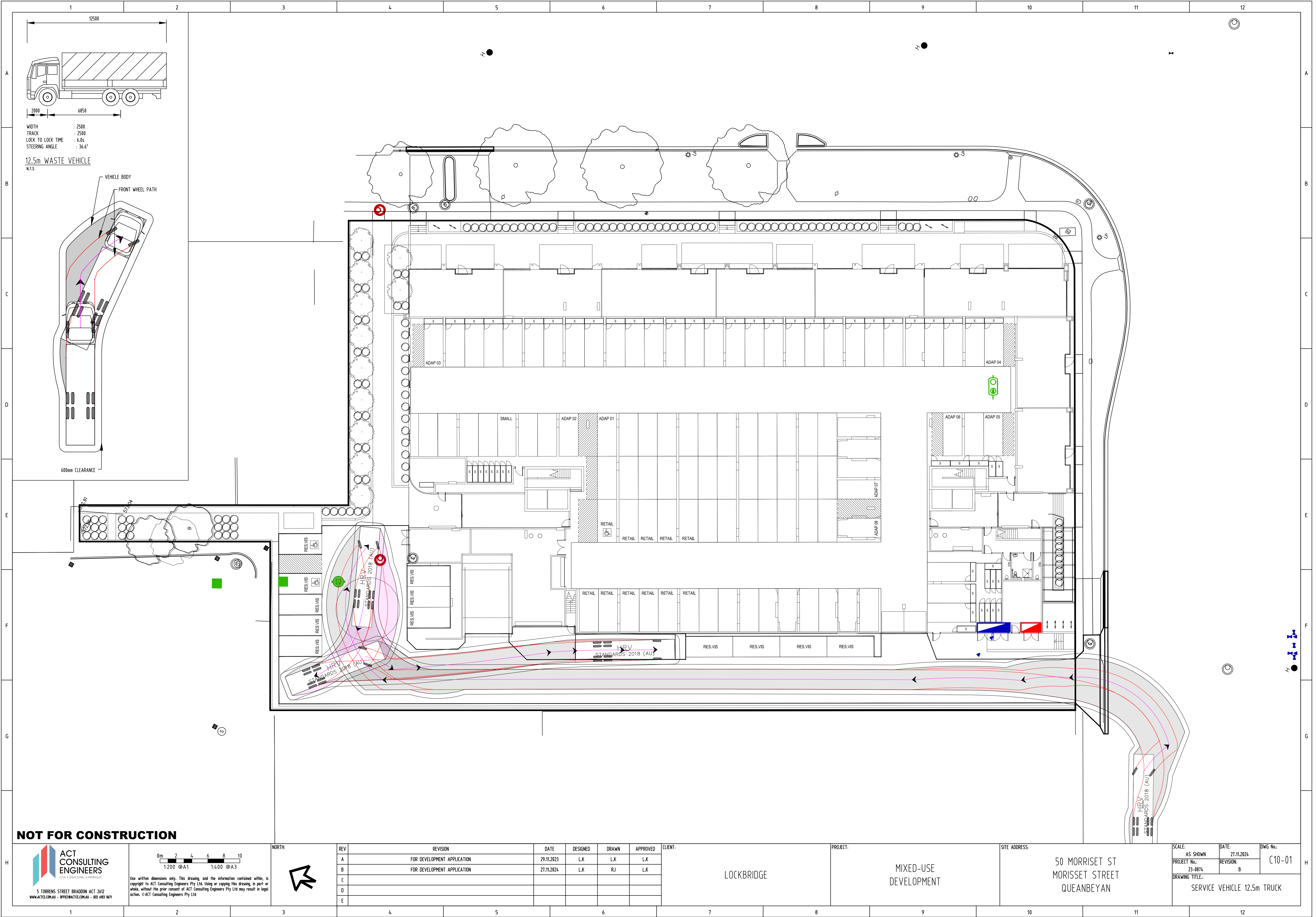
PROJECT:

MIXED-USE
DEVELOPMENT

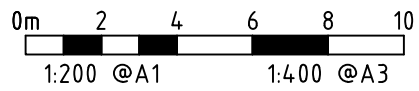
SITE ADDRESS:

50 MORRISSET ST
MORRISSET STREET
QUEANBEYAN

SCALE: AS SHOWN	DATE: 27.11.2024	DWG No.: C10
PROJECT No.: 23-0874	REVISION: B	
DRAWING TITLE: WASTE COLLECTION PLAN 10.4m TRUCK		

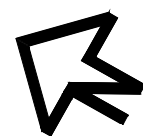


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NORTH:



REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K
C					
D					
E					

CLIENT:

LOCKBRIDGE

PROJECT:

MIXED-USE
DEVELOPMENT

SITE ADDRESS:

50 MORRISSET ST
MORRISSET STREET
QUEANBEYAN

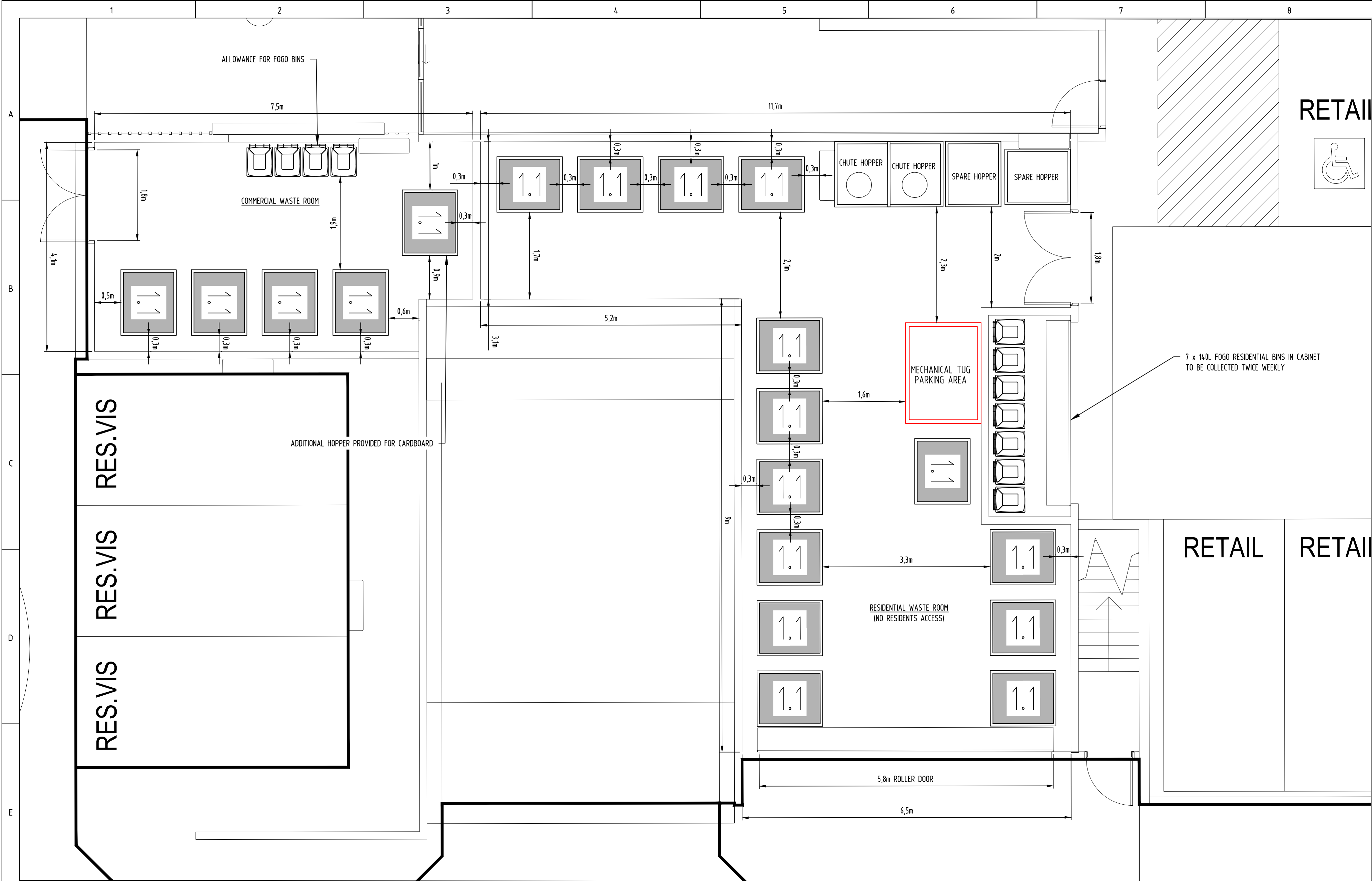
SCALE:
AS SHOWN
PROJECT No.:
23-0874

DATE:
27.11.2024
REVISION:
B

DWG No.:

C10-01

DRAWING TITLE:
SERVICE VEHICLE 12.5m TRUCK



WASTE ENCLOSURE DETAILS-1
NORTH TOWER
SCALE 150

COMMERCIAL WASTE CALCULATIONS

GENERAL WASTE									
USE	GFA	WASTE / 100m2 / DAY	TOTAL WASTE PER DAY	OPERATING DAYS	TOTAL WASTE PER WEEK	HOPPER SIZE (m3)	No OF HOPPERS	COLLECTIONS PER WEEK	TOTAL COLLECTION CAPACITY
Restaurant, café	107	100	107	7	749	1.1	1	2	2200
Retail Shop > 100m2	518	50	259	6	1554	1.1	1	2	2200
TOTALS	625		366		2303				4400
	m2		Litres per day		Litres per week				Litres per week
RECYCLING									
USE	GFA	RECYCLING / 100m2 / DAY	TOTAL RECYCLING PER DAY	OPERATING DAYS	TOTAL RECYCLING PER WEEK	HOPPER SIZE (m3)	No OF HOPPERS	COLLECTIONS PER WEEK	TOTAL COLLECTION CAPACITY
Restaurant, café	107	120	128.4	7	898.8	1.1	1	2	2200
Retail Shop > 100m2	518	100	518	6	3108	1.1	1	2	2200
TOTALS	625		646.4		4006.8				4400
	m2		Litres per day		Litres per week				Litres per week

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5 TORRENS STREET BRADDON ACT 2612
WWW.ACTCE.COM.AU - OFFICE@ACTCE.COM.AU - 021 693 8671

0m 1 2 3 4 5
1:100 @A1 1:200 @A3

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NORTH:

REV	REVISION	DATE	DESIGNED	DRAWN	APPROVED	CLIENT:
A	FOR DEVELOPMENT APPLICATION	29.11.2023	L.K	L.K	L.K	LOCKBRIDGE
B	FOR DEVELOPMENT APPLICATION	27.11.2024	L.K	R.J	L.K	
C						
D						
E						

PROJECT:

MIXED-USE DEVELOPMENT

SITE ADDRESS:

50 MORRISSET ST
MORRISSET STREET
QUEANBEYAN

SCALE: AS SHOWN
PROJECT No.: 23-0874
DRAWING TITLE: WASTE ENCLOSURE DETAILS

DATE: 27.11.2024
REVISION: B

DWG No.: C11

Date Plotted: 27/11/2024

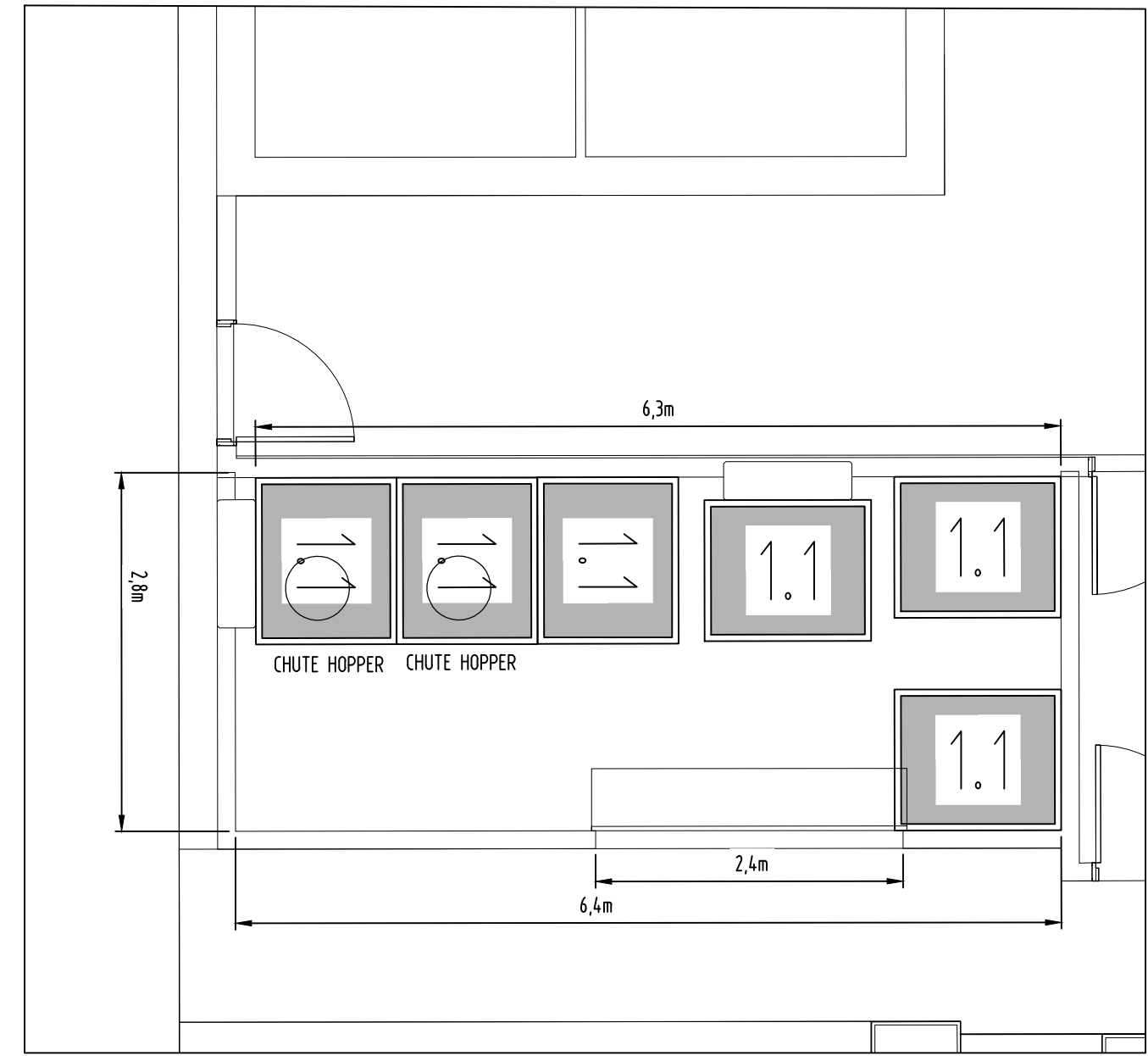
Type of units by size	Waste (litres/week)			Recycling (litres/week)		
	Number of units	litres/week per unit	Total litres/week	Number of units	litres/week per unit	Total litres/week
1 bedroom or studio unit	80	80	6,400	80	70	5,600
1 bedroom with separate study room		90	0		80	0
2 bedroom unit	80	100	8,000	80	90	7,200
3 bedroom unit		120	0		110	0
4 bedroom unit or greater		140	0		120	0
Total calculated waste			14,400			12,800

RESIDENTIAL WASTE MANAGEMENT SUMMARY - OVERALL DEVELOPMENT

WASTE
WEEKLY GENERATION = 14,400L
COLLECTED TWICE PER WEEK = 7,200L PER COLLECTION
7 x 1100L HOPPERS PROVIDED.

RECYCLING
WEEKLY GENERATION = 12,800L
COLLECTED TWICE PER WEEK = 6,400L PER COLLECTION
7 x 1100L HOPPERS PROVIDED.

FOOD AND ORGANICS ALLOWANCE
160 (APARTMENTS) x 12 (L/PER DAY) = 1920L WEEKLY GENERATION
1920L DIVIDED BY 140L BINS =13.7 (14 x 140L BINS)
7 x 140L FOGO BINS TO BE COLLECTED TWICE WEEKLY



WASTE TRANSFER ENCLOSURE DETAIL-2
SOUTH TOWER
SCALE 150

Type of units by size	Waste (litres/week)			Recycling (litres/week)		
	Number of units	litres/week per unit	Total litres/week	Number of units	litres/week per unit	Total litres/week
1 bedroom or studio unit	40	80	3,200	40	70	2,800
1 bedroom with separate study room		90	0		80	0
2 bedroom unit	40	100	4,000	40	90	3,600
3 bedroom unit		120	0		110	0
4 bedroom unit or greater		140	0		120	0
Total calculated waste			7,200			6,400

SOUTH TOWER
WASTE TRANSFER WEEKLY TOTAL VOLUME GENERATION

3 DAY CAPACITY WASTE AND RECYCLING CALCULATIONS

WASTE
7200 (L/PW) DIVIDED BY 7 DAYS = 1028 (L) x 3 DAYS = 3085 (L) = 3 x 1100 (L) WASTE HOPPERS

RECYCLING
6400 (L/PW) DIVIDED BY 7 DAYS = 914 (L) x 3 DAYS = 2742 (L) = 3 x 1100 (L) RECYCLING HOPPERS